

CITY PLANNING COMMISSION

927-10th Street - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Morton & Pitalo, 1767 'J' Tribute Road, Sacramento, CA 95815		
OWNER	Michael D. Krambs, 1525-40th Street, Sacramento, CA 95819		
PLANS BY	Morton & Pitalo and Michael D. Krambs		
FILING DATE	2/18/82	50 DAY CPC ACTION DATE	REPORT BY: SD:bw
NEGATIVE DEC.	3/29/82	EIR	ASSESSOR'S PCL. NO. 007-146-15

- APPLICATION:
1. Environmental Determination
 2. Tentative Map
 3. Variance to reduce parking maneuvering space from 26 feet to 23 feet for eight spaces and 26 feet to 20 feet for one space
 4. Variance to waive the required six-foot masonry wall adjacent to residential uses
 5. Subdivision Modification to waive City street lights

LOCATION: Northwest of the intersection of 21st and 'N' Streets
 ** Address: 1221 26th Street (Location of building to be moved).

PROPOSAL: The applicant proposes to relocate a two-story structure presently located at 26th and Capitol to the subject site for rehabilitation as an office. A tentative map accompanies the request for office condominium development.

PROJECT INFORMATION:

1974 General Plan Designation: Commercial and Office
 1980 Central City Community Plan Designation: General Commercial
 Existing Zoning of Site: C-2 6,200 ± sq. ft.
 ** Existing Land Use of Site: Office (6,800 ± sq. ft.)

Surrounding Land Use and Zoning:
 North: Office; C-2
 South: Office; C-2
 East: Pharmacy and Offices; C-2
 West: Residential; C-2

Parking Required: 23 spaces
 Parking Provided: 23 spaces
 Parking Ratio: 1:400 sq. ft. gross floor area
 Property Dimensions: 80' x 160'
 Property Area: .29+ acre
 Square Footage of Building: Existing: 6,200
 Proposed: 2,800
 Significant Features of Site: Existing rehabed structure used as an office
 Topography: Flat
 Street Improvements/Utilities: Existing
 Exterior Building Colors: Earth tones
 Exterior Building Materials: Wood
 Exterior Building Height: Existing: 3 story; Proposed: 2 story

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: At the March 10, 1982 meeting, by a vote of seven ayes, one absent and one abstention, the Subdivision Review Committee voted to recommend approval of the tentative map. The applicant shall satisfy the following condition prior to filing the final map:

Enter into an agreement with the City to participate in any future assessment districts to provide street lights. A note shall be placed on the final map referencing the agreement.

BACKGROUND INFORMATION: The subject site, zoned General Commercial (C-2) is currently developed with a structure rehabilitated for office uses. The structure is approximately 6,800 square feet in size. A parking facility, striped with 19 spaces, is located to the rear of the site with alley access.

The structure proposed for relocation to the subject site is currently located on the east side of 26th Street between Capitol Avenue and 'L' Street. It is considered a supportive structure. The Preservation Board has suggested as an alternative to the proposed demolition of the structure, that it be offered for relocation. The applicant subsequently purchased the structure and proposes to relocate it to the subject site.

On March 17, 1982 the Architectural Review Board approved the building move, subject to obtaining necessary entitlements from the Planning Commission.

STAFF EVALUATION: Staff has the following observations and comments with regard to the project:

1. Staff has no objection to the proposed use of the relocated structure as an office since offices are allowed in the C-2 zone. In order to provide the required 23 parking spaces, the applicant is requesting variances to maneuvering area requirements.
2. The applicant proposes to relocate a power pole now situated in the middle of the 80-foot lot width at the alley and restripe to provide eight spaces along the alley. These spaces will be 18 feet long with a total of 23 feet of maneuvering space. Since the parking configuration exists, staff believes the parking/maneuvering area as shown is workable and supports this variance request.
3. Since only 16 feet of maneuvering space is located directly behind space 21, a second variance request is necessary. Again, staff believes the arrangement workable since the space is designated for compact cars which can swing into the main maneuvering area, which is wider than required, and easily exit the site moving forward. Staff also supports this variance request.
4. Since the parking lot is existing, it is not subject to the 50 percent shading requirement. Staff recommends that a shade tree be planted in the middle of each planter located parallel to the alley in an effort to provide some shading of surfaced areas. (See Exhibit 'B'.)

5. The applicant is requesting a variance to waive the required solid wall along the entire western property line. Staff supports the request to waive the wall between the two existing structures. Staff, however, believes that the residential use should be buffered from the noise, light and fumes of the parking area. Therefore, it is recommended that a six-foot high wall of masonry or similar material be erected along the northern 80 feet of the western property line. (See Exhibit 'B'.) No new construction is proposed along the remainder of that property line.
6. Street lights currently do not exist in the area. The City Electrical Engineer has recommended a waiver of installation at this time. Staff concurs.
7. Staff wishes to note that, should the applicant not obtain approval to re-situate the previously noted power pole, further Planning Commission action may be required on a revised site plan.

STAFF RECOMMENDATION: Staff recommends the following actions be taken:

1. Ratification of the Negative Declaration;
2. Approval of the Tentative Map, subject to conditions which follow;
3. Approval of the Variance to reduce parking maneuvering space, subject to conditions and based on Findings of Fact which follow;
4. Approval of the Variance to waive a portion of the required solid wall along the western property line, subject to conditions and based on Findings of Fact which follow;
5. Approval of the Subdivision Modification to waive street lights.

Condition - Maneuvering Variance

Additional landscaping shall consist of at least two shade trees located in the planters at the rear of the site. Species shall be reviewed and approved by the Energy Planner prior to issuance of any building permits.

Condition - Wall Variance

Design of the wall shall be subject to review and approval of the Planning Director prior to issuance of any building permits.

Condition - Tentative Map

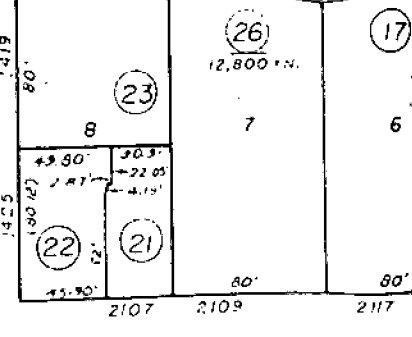
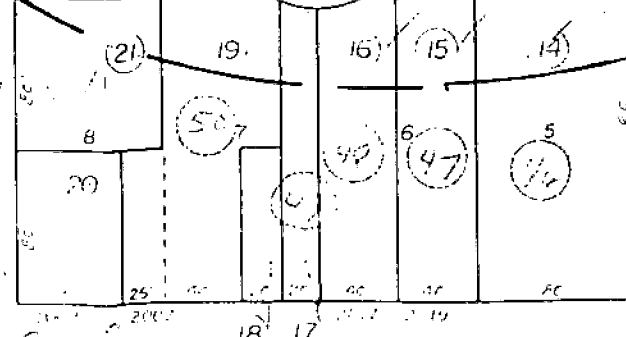
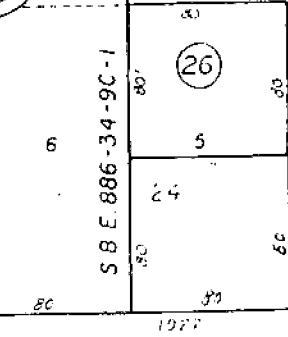
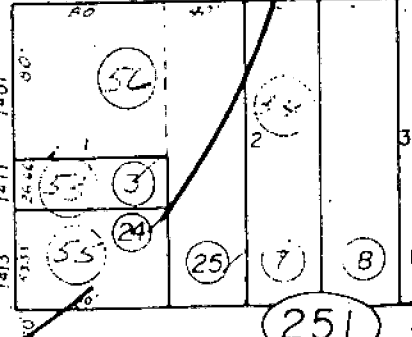
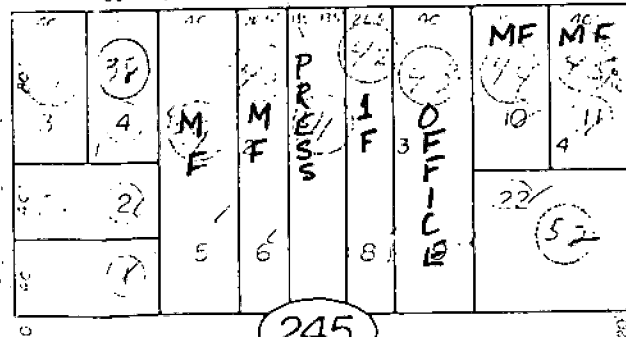
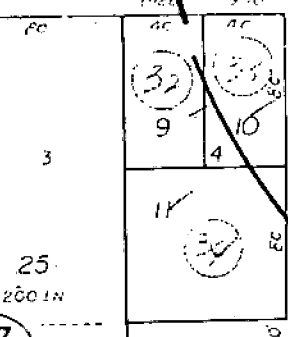
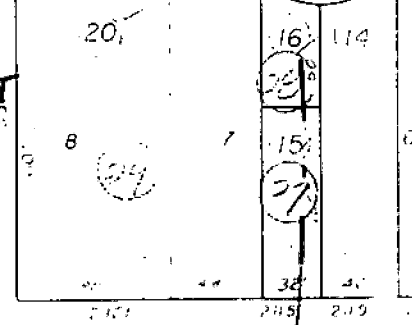
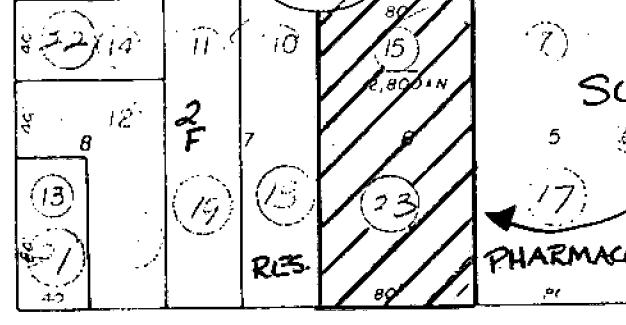
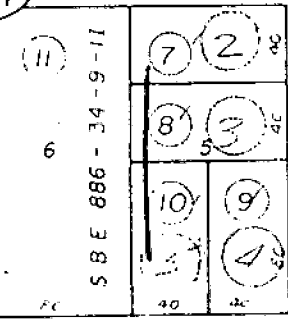
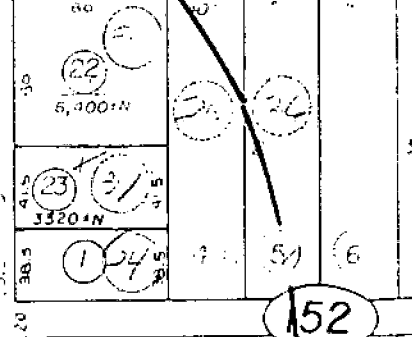
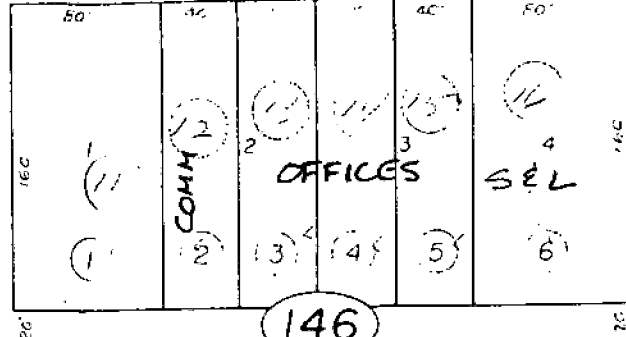
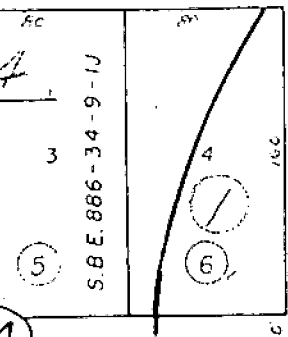
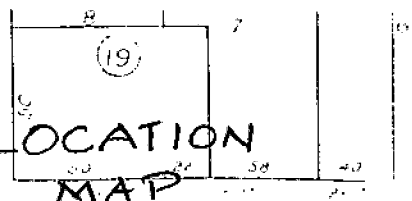
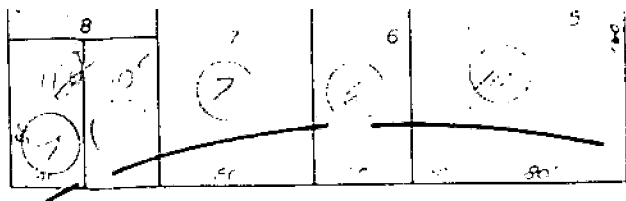
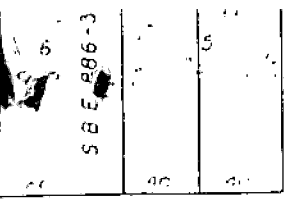
Prior to final map recordation the applicant shall enter into an agreement with the City to participate in any future assessment districts to provide street lights. A note shall be placed on the final map referencing the agreement.

Findings of Fact - Maneuvering Variance

- a. The granting of the variance does not constitute a special privilege extended to one property owner in that the applicant is working with an existing structure. For this reason it is difficult to design the size of the structure to fit the site.
- b. The variance does not constitute a use variance in that offices are allowed in the C-2 zone.
- c. The variance, as conditioned, will not create a hazard to public safety in that:
 - 1) the northern row of spaces exists and is workable with the maneuvering space provided;
 - 2) the additional space is located within the facility itself and adequate maneuvering room exists, though not directly behind the space.
- d. The project is in harmony with the 1980 Central City Community Plan and the 1974 General Plan which designate the site for commercial uses.

Findings of Fact - Wall Variance

- a. Granting of the variance, as conditioned, would be appropriate for any property owner in that the parking lot will be adequately buffered and no new construction is proposed for the remainder of the western portion of the site.
- b. The request does not constitute a use variance in that offices are allowed in the C-2 zone.
- c. The variance, as conditioned, is not injurious to the public welfare or the properties in the vicinity of the applicant in that the wall is required for that portion of the property abutting residentially used property along the western property line.
- d. The variance, as conditioned, is in harmony with the general intent of the Zoning Ordinance in that the wall is required to protect the adjacent residential property from the non-compatible parking lot use.



AVE.

CAPITOL



20th

ST.

N

ST.

ST.

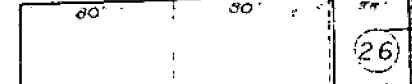
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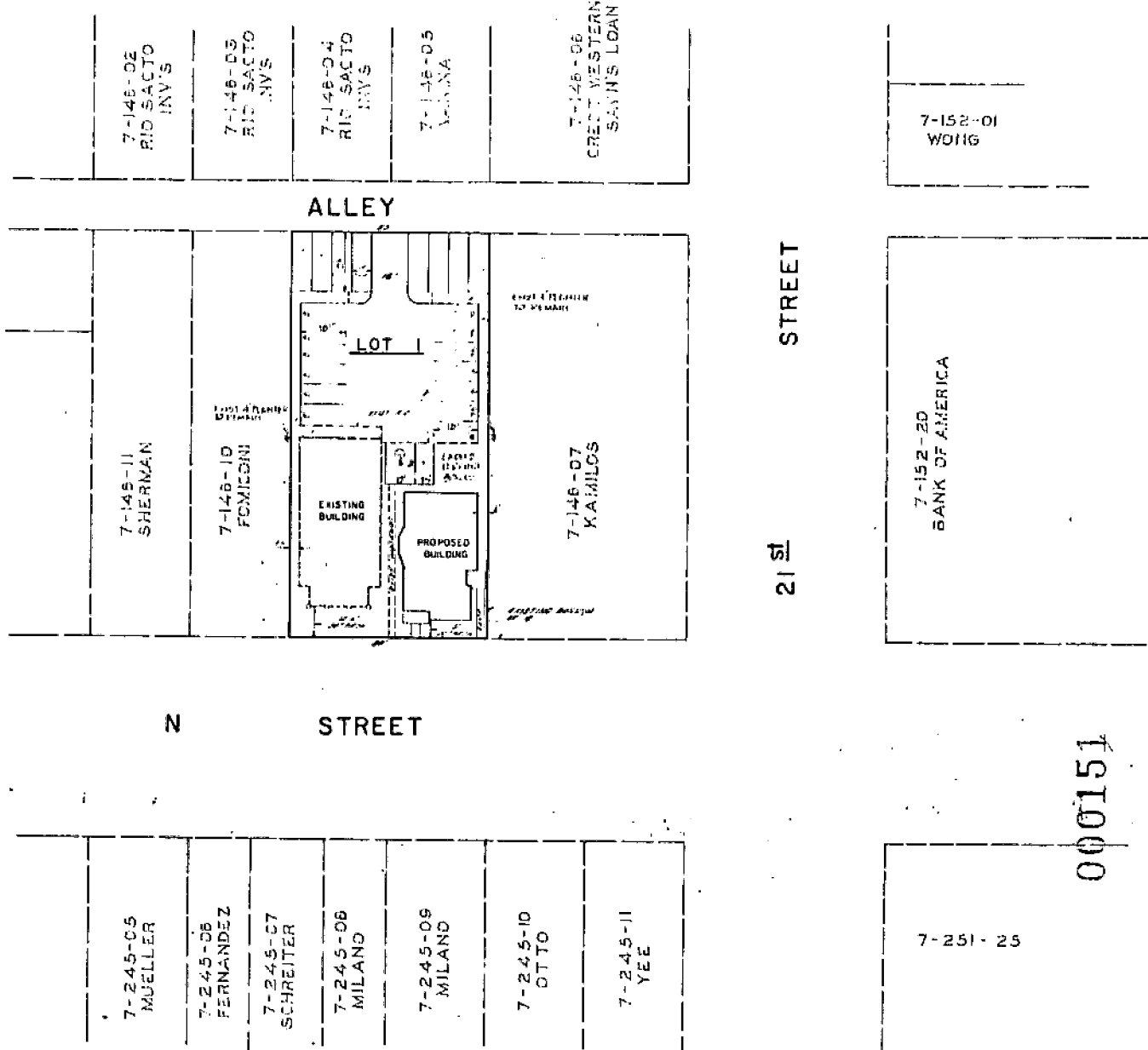
SACRAMENTO
LOCATION MAP

- 1. LOCATION MAP
- 2. GENERAL NOTES
- 3. LEGEND
- 4. SPECIFICATIONS
- 5. SURVEY DATA
- 6. EXISTING UTILITIES
- 7. PROPOSED UTILITIES
- 8. EASEMENTS
- 9. ADJACENT PROPERTIES
- 10. ZONING REGULATIONS
- 11. ENVIRONMENTAL CONSIDERATIONS
- 12. PUBLIC UTILITIES
- 13. RECORD DRAWING
- 14. AS-BUILT DRAWING
- 15. CONSTRUCTION DRAWING
- 16. FINAL AS-BUILT DRAWING

APPLICANT'S
SITE PLAN

EXHIBIT 'A'

SCALE: 1"=20'



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REVISIONS	NO.	DESCRIPTION	APPROVED	DATE	FIELD BOOK NO.	SCALE:	DRAWN BY	CHECKER BY	MORTON & PITALO, INC. CIVIL ENGINEERING PLANNING SURVEYING	APPROVED	DATE	TENTATIVE MAP FOR VANINA BUILDING CITY OF SACRAMENTO	DATE FED. REG.	SHEET	OF
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SACRAMENTO
LOCATION MAP

STAFF'S
SUGGESTIONS
EXHIBIT
"B"

SCALE: 1"=20'

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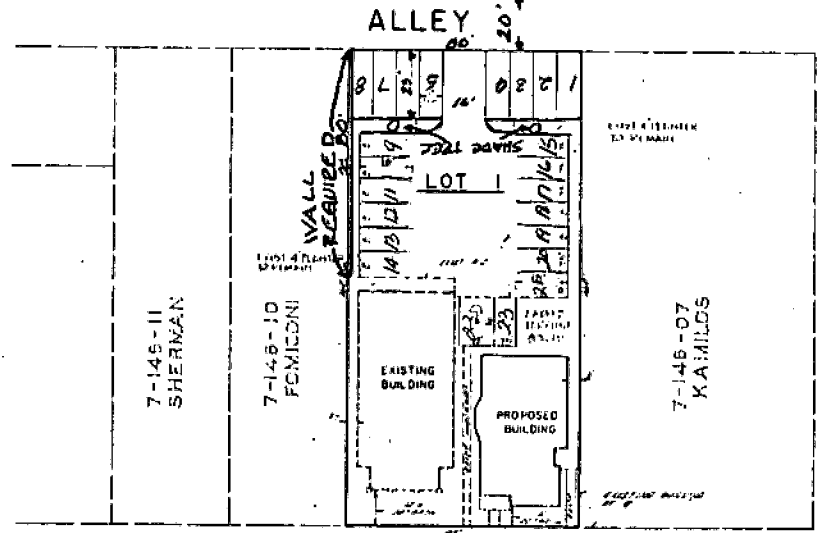
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7-146-03
RIC SACTO
INVS

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RIC SACTO
INVS

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YOUNG

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CRECT WESTERN
SAYNS LOAN



7-145-11
SHERMAN

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FOMICONI

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MUELLER

7-245-06
FERNANDEZ

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SCHREITER

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MILAND

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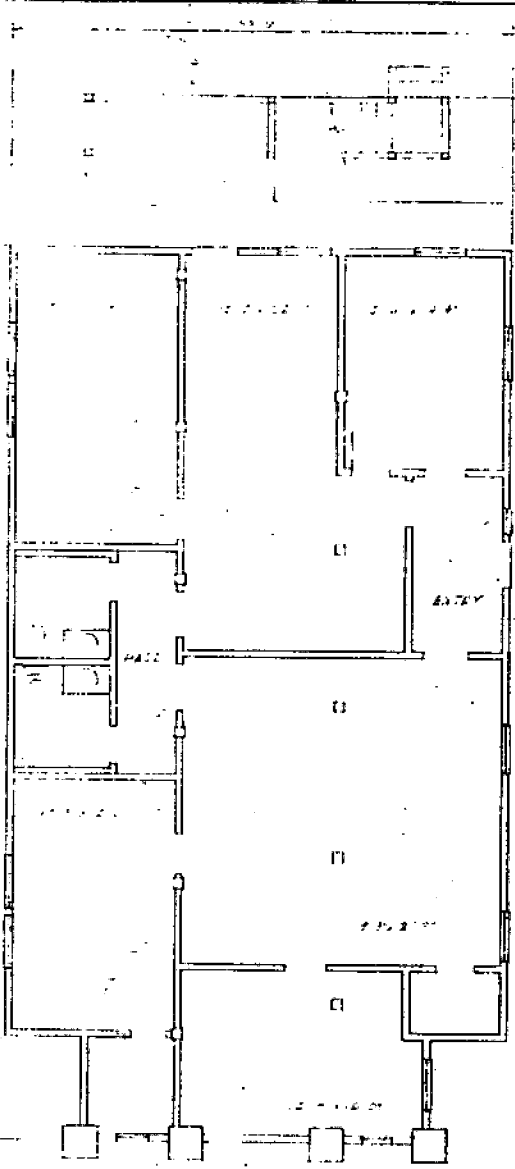
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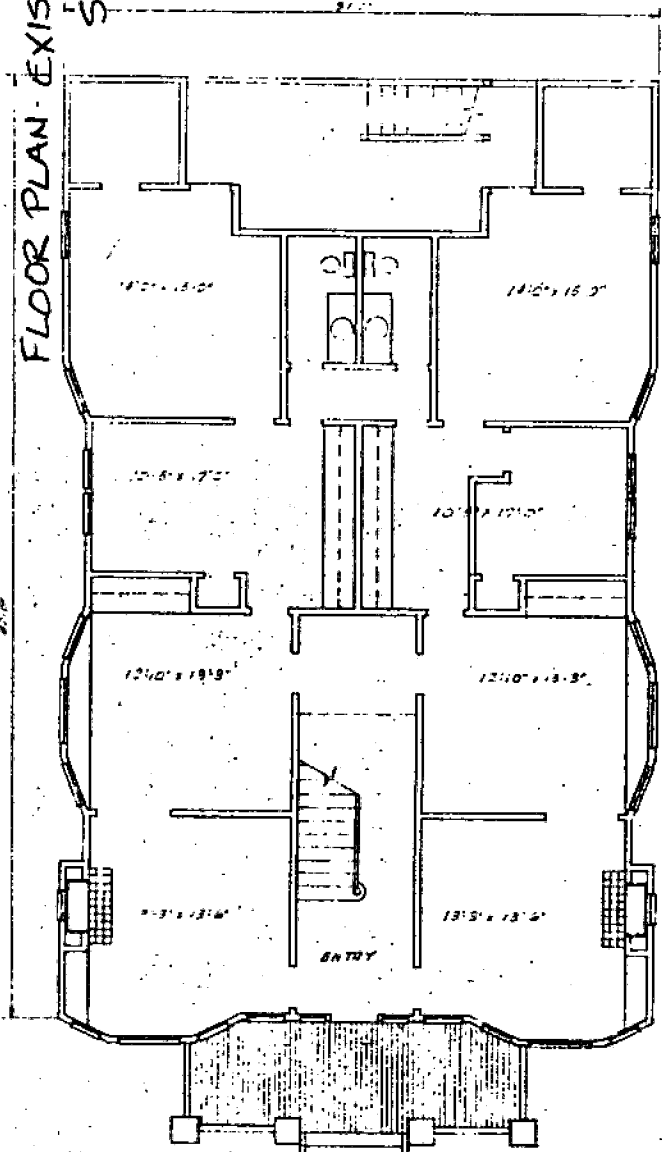
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EXHIBIT 'C'

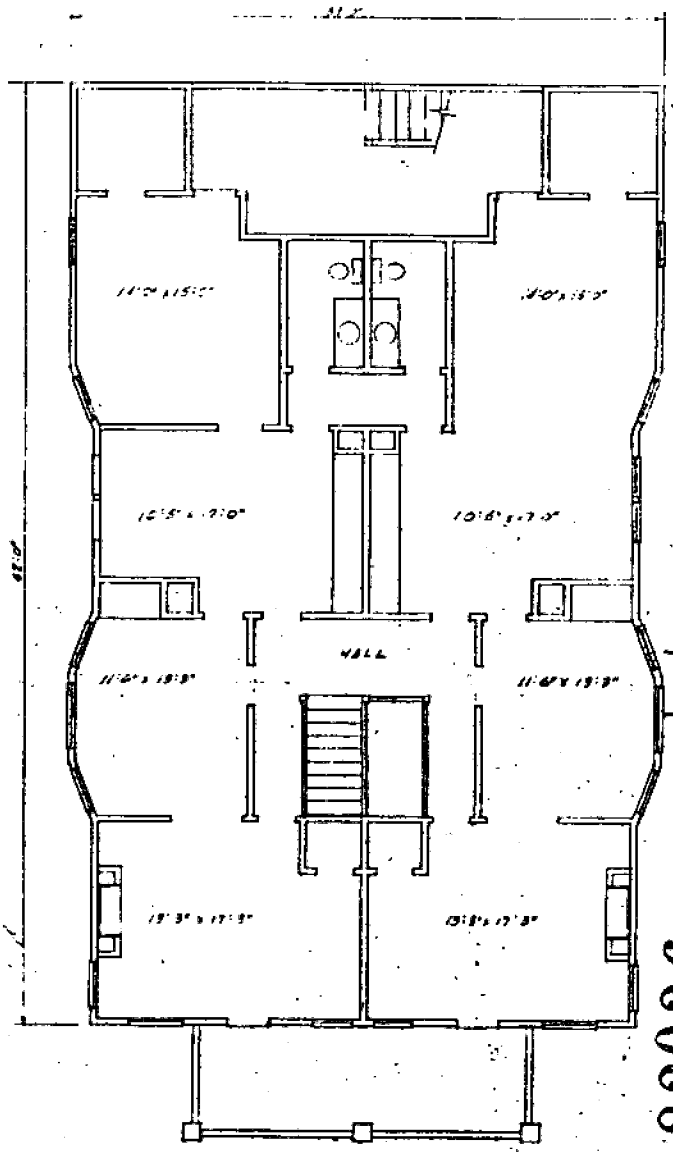
FLOOR PLAN - EXISTING STRUCTURE



FIRST FLOOR PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN

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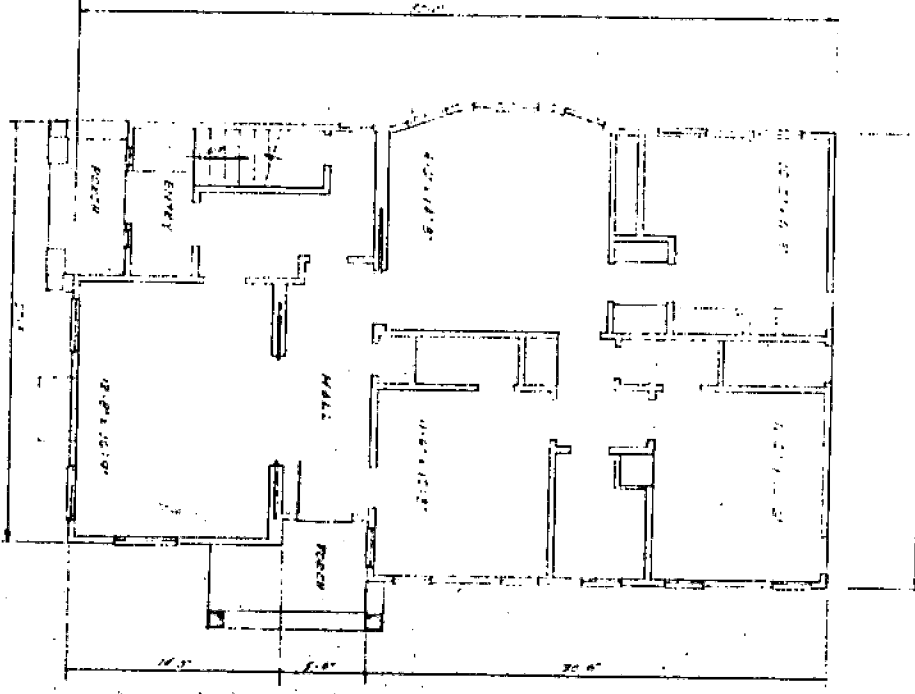
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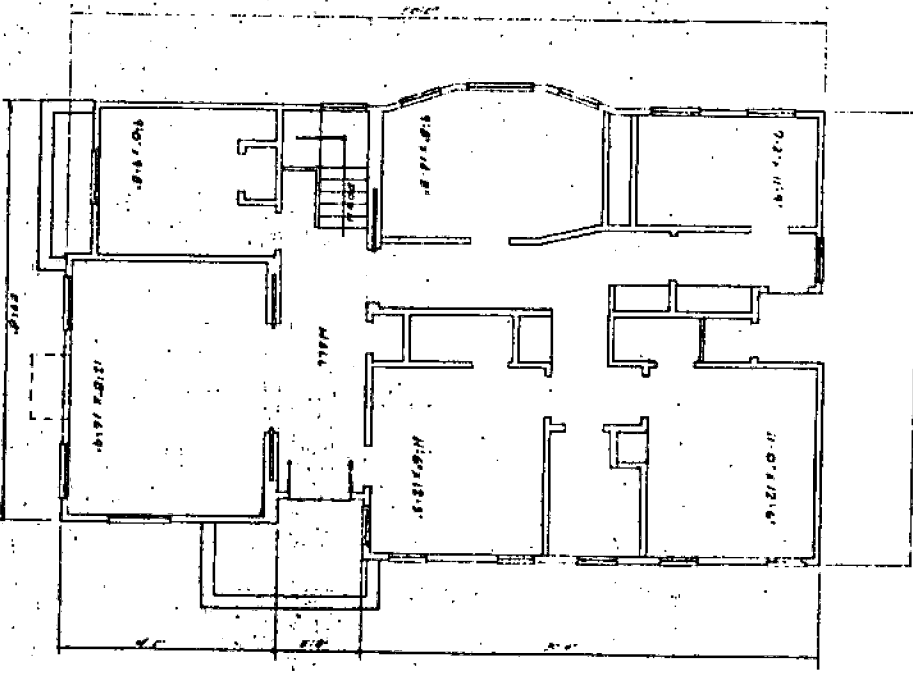
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<small>ARCHITECT</small> <small>SCALE</small> <small>DATE</small>	<small>PROJECT NO.</small> 16	<small>DATE</small> 4/8/82

EXHIBIT 'D'
RELOCATED
STRUCTURE
FLOOR PLAN



FIRST FLOOR PLAN

000153



SECOND FLOOR PLAN

MICHAEL D. KEANE
 ARCHITECT
 47 BULL. ST. 4TH FL.
 BOSTON, MA 02111
 TEL: 617-552-1111
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 2

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