

**CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & DEVELOPMENT
ZONING ADMINISTRATOR
1231 I Street, Sacramento, CA 95814**

ACTION OF THE ZONING ADMINISTRATOR

On Tuesday, February 7, 1995, the Zoning Administrator approved with conditions a Special Permit for Deep Lot Development to construct two units for the project known as Z94-101. Findings of Fact and conditions of approval for the project are listed on pages 3-6.

Project Information

Request: Zoning Administrator's Special Permit for Deep Lot Development for three single family detached units on 0.33± vacant acres in the Standard Single Family (R-1) zone.

Location: 5050 64th Street

Assessor's Parcel Number: 023-0151-006

Applicant: Jessie Hernandez Owner: Same as Applicant
Address: 5725 21st Avenue
Sacramento, CA 95820

General Plan Designation: Low Density Residential (4-15 du/net acre)
Existing Land Use of Site: Partially constructed single family residence
Existing Zoning of Site: Single Family Residential (R-1)

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Single Family; R-1	Front:	25'	25'
South: Multi-Family; R-1	Side(N.):	5'	5'
East: Single Family; R-1	Side(S.):	5'	5'
West: Single Family; R-1	Rear:	15'	15'

Parking Required: Three spaces
Parking Provided: Six spaces
Property Dimensions: 70'x 207' (14,490± square feet)
Property Area: 0.33±
Square Footage of Building: Each house- (3) 1,386 square feet
Each garage- (3) 560 square feet
Total- (3) 1,946 square feet [5,838 square feet]
Height of Building: One story, 14 feet
Exterior Building Materials: Horizontal Wood siding, T-1/11 siding
Roof Materials: Composition shingles
Topography: Flat

Street Improvements: Existing
 Utilities: Existing

Project Plans: See Exhibits A-E

Staff Exhibits: Exhibits F-H

Previous Files: None

Applicant's Original Proposal

The applicant requested a special permit to construct three single family units on a deep lot. The first unit is presently being constructed on the front of the lot and the remaining area is vacant. Each unit was proposed to be a single story 1,946 square foot three bedroom/ two bath house with a two car garage. The proposed total square footage of all units (5,838 square feet) exceeded the allowed lot coverage for the R-1 zone. The Zoning Ordinance allows for 40 percent lot coverage or 5,740 square feet for this parcel. The front unit will have the main entrance oriented towards 64th Street with the garage entrance off of the common driveway that will run along the north property line. The proposed exterior materials were horizontal lap siding for the east elevations of all units and T-1/11 wood vertical siding on all other elevations for all units and composition shingle roofs. The submitted site plan indicated a common driveway that is 20 feet wide with 26 foot individual driveways off the common drive. The applicant proposed a seven foot high fence. The Zoning Ordinance allows a maximum six foot fence height for residential properties.

Agency Comments

The proposed project was reviewed by the City Public Works - Transportation and Engineering Planning Divisions, Utilities Division, the Police Department, and the Fire Department. Design Review staff also reviewed the project and made recommendations to enhance the design and appearance of the proposed project. Those recommendations and the agency requirements are included below as conditions of approval.

The Police Department opposed the original design that located multiple buildings on a narrow lot in a line or view that is obscured from the street by the front building. Such a design makes it impossible to see illicit activity near any rear building on the property from the street. The Police also indicated that this is a fragile neighborhood, making good site plan design a primary concern. In view of resident and officer safety, the Police Department recommended against the three unit project.

The Fire Department normally requires on-site access using a minimum 20 foot driveway; however, the parcel is too narrow to provide a turn around space for emergency vehicles. Therefore, NFPA 13D fire sprinkler system will be required for any units behind the front unit.

Neighborhood Comments

The site is located within the Tallac Village Neighborhood Association organization area. The proposed plans were submitted to the neighborhood association and staff had numerous discussions with the group representative about their concerns. The neighborhood association only supports the development of the lot with two units and is opposed to three units (see Exhibit G).

Public Hearings

At the January 31, 1995 Zoning Administrator's hearing, the Zoning Administrator and the applicant discussed the site design concerns, density concerns and safety concerns of Planning staff, the neighborhood and the Police Department in connection with the three unit proposal. A representative of the Police Department (Lynne Ohlson) was also present for the discussion. The Zoning Administrator indicated that she was supportive of a revised plan indicating two units as this would: provide adequate yard area for each unit; provide for an overall improved site design; and would address the concerns of the Police Department and the neighbors. The Police Department indicated they would have no objections to a two unit project with a revised site plan. The applicant indicated that he was willing to go forward with a two unit plan if there was some way that he could subdivide the property in the future. The project was continued for one week so staff could finalize conditions of approval for two units including finalizing the location of the second unit.

On February 7, 1995 the applicant was informed by phone that the minimum required location for the second unit would be 123 feet from the front property line, and that this location would provide adequate yard area for each unit if he decided to subdivide the property in the future. The applicant decided that he did not need to attend the hearing. The Zoning Administrator approved the project with conditions at the February 7, 1995 meeting.

Possible Future Subdivision of Lot

The parcel could be subdivided at a later date into two parcels. In order to subdivide the parcel, the applicant would have to apply for: a Tentative Map to subdivide one parcel into two parcels; a Subdivision Modification to allow access to a property from a private drive; and a Variance to create a landlocked parcel without 20 feet of public street frontage. The entitlements would require Planning Commission action.

Environmental Determination

This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines (California Environmental Quality Act, Section 15303 a).

Conditions of Approval

1. The applicant shall meet the necessary building code requirements to include sprinklers in the second unit to the satisfaction of the Fire Department. Required fire sprinklers shall be NFPA 13D standards and a C-16 licensed contractor is required for installation. **NOTE:** A fire

hydrant may be required on site. The applicant shall satisfy the fire hydrant requirement to the satisfaction of the Fire Department (Elaine Clark).

2. The applicant shall submit revised plans to Planning staff for review and approval prior to the issuance of Building Permits that includes the following changes:
 - a. the driveway shall be reduced in width from 20 feet to a maximum of 16 feet (may be reduced to a minimum of 10 feet);
 - b. no mechanical equipment on the roof;
 - c. all garage doors shall be metal sectional doors subject to Planning staff review;
 - d. all windows shall have the window treatment as indicated by Design Review (see Staff Exhibit H);
 - e. all elevations with T-1/11 wood siding with a gable shall have a 1"x 6" trim band;
 - f. all front doors shall be metal sectional, six panels, and all other exterior doors shall be four panel metal sectional doors;
 - g. all horizontal siding shall have staggered joints, double nailed in place of metal joints, nailed at all studs, no joints between 16' spans, and caulked at the joints;
 - h. all east elevations shall have horizontal lap siding and the north elevations for the front unit shall have horizontal lap siding;
 - i. a six foot wood fence shall be provided along the north and south property lines from the front setback to the rear of the property and across the rear (west) property line and in the southwest corner of the front unit. A fence shall also be provided between the units to provide private yard area (this fence does not need to be six feet in height). All fencing shall meet the Zoning Ordinance requirements; specifically, no solid fence or chain link fence taller than three feet in the front setback area or higher than six feet any where else. If a gate is installed across the driveway, it shall be setback a minimum of 20 feet from the east property line per City Code. {Fencing shall be installed prior to Final Inspection};
 - j. there shall be no parking of vehicles, dumping, or non-enclosed storage on the vacant rear section of the lot;
 - k. the front area of each unit shall be landscaped with sod, shrubs, at least one tree, and irrigated with an automatic sprinkler system (see Staff Exhibit F);

FOR FRONT UNIT

- l. add a window to the dining room near northeast corner on north elevation;

- m. add louvered shutters to both windows on east elevation;
- n. create a slight projection of the gable (a few inches beyond the main wall) on the east elevation;
- o. use 30 year laminated dimension composition shingles;
- p. create a porch element (talk to Randy Lum at 264-5896);

FOR SECOND UNIT

- q. use the proposed third unit floor plan;
 - r. revise the site plan to relocate the second unit further back (at least 20 feet) from the centerline of the property {123 feet from the front property line minimum};
 - s. provide a turn around maneuvering pad out of turf block located a minimum of 10 feet from the front of the second unit;
 - t. revise the south elevation to include eliminating the rear door from the house, relocate the dining room window to the kitchen area, and provide a sliding glass door in the location of the dining room window;
 - u. use a minimum 25 year laminated dimension composition shingles; and
 - v. the second unit shall have large illuminated numbers indicating the address that are visible from the street.
3. The applicant shall obtain all necessary building permits prior to commencing construction.
 4. The applicant shall obtain a driveway permit (if necessary).
 5. The applicant shall coordinate with County Sanitation District No. 1 regarding sanitary sewers {Public Works}.
 6. The corners between the private driveway (serving all units) and each individual driveway shall be rounded to a radius of nine feet {Public Works}.
 7. The applicant shall provide an on-site paving, grading, and drainage plan to the Public Works Department for their review and approval prior to issuance of building permits {Public Works}.
 8. Only one water service is allowed per parcel and any new service shall be metered.
 9. Planning staff shall inspect the site for condition compliance prior to Final Inspection of the second unit.

Findings of Fact

1. The proposed project, as conditioned, is based upon sound principles of land use in that the project is a residential use in a Standard Single Family (R-1) zone.
2. The project will not be detrimental to the public health, safety, or welfare nor result in a nuisance in that:
 - a. the proposed single family residences are compatible in design with the other existing properties in the neighborhood;
 - b. adequate parking, driveways, landscaping, and setbacks will be provided;
 - c. the proposed units will not significantly alter the characteristics of the area; and
 - d. the site plan will be revised to provide for the safety of the residents of the two units on the property.
3. The project is consistent with the General Plan which designates the subject site as Low Density Residential (4-15 du/na) respectively. Encouraging development on infill property meets the goals and policies of the General Plan.



Joy D. Patterson
Zoning Administrator

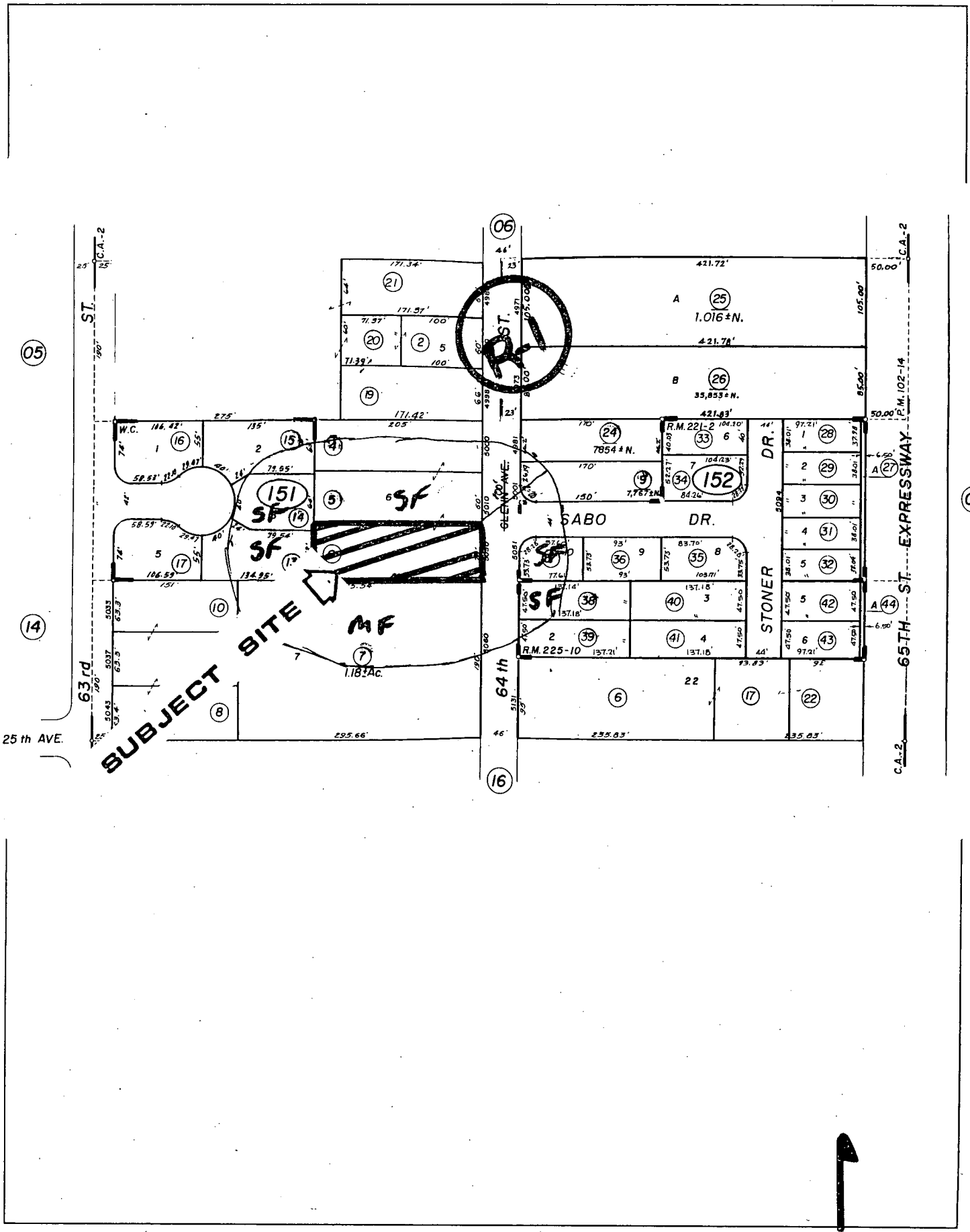
A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File Applicant
 ZA Log Book Andrea Jackson - A.A. Council District 6

VICINITY MAP

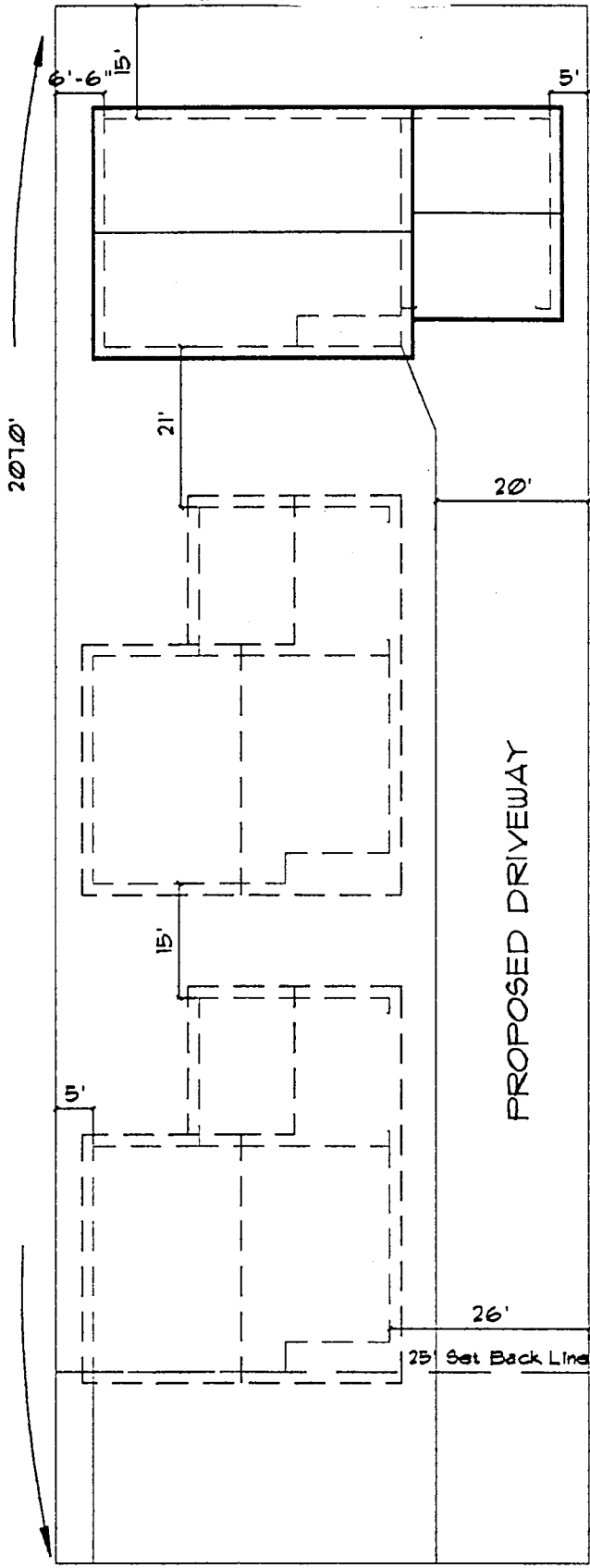




LAND USE & ZONING MAP

EXHIBIT - A

Applicant's
Original
Proposal



70'
64 th STREET

PLOT PLAN

1/16" = 1'-0"

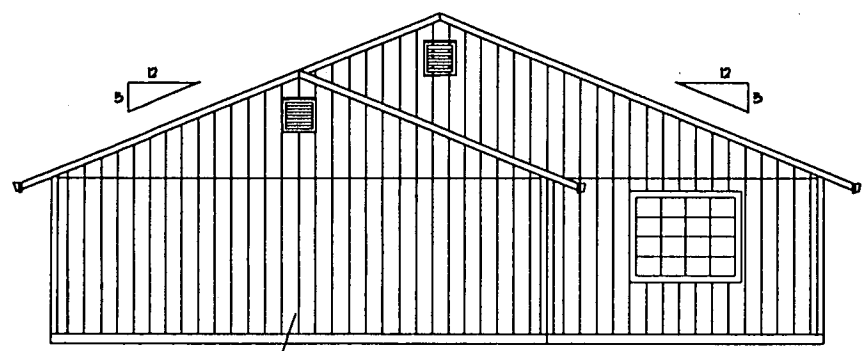
JANUARY 31, 1995

294-101

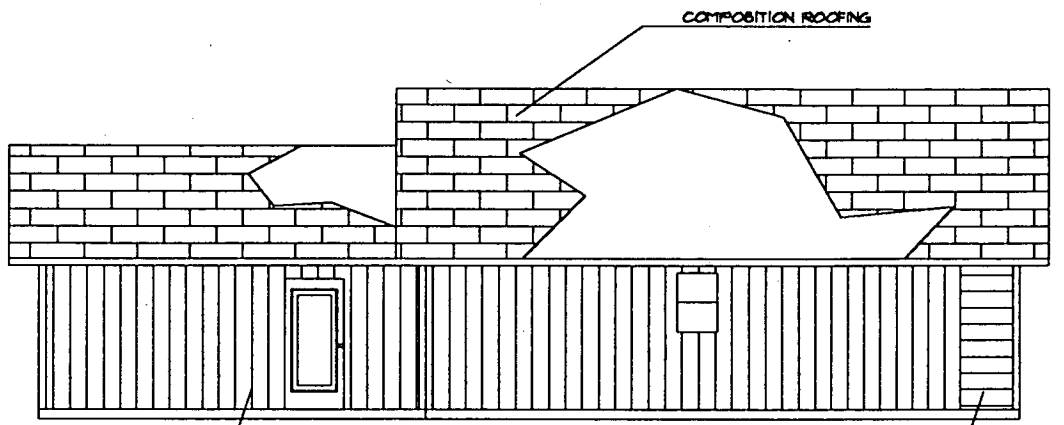
ITEM 2

294-101

JANUARY 31, 1955



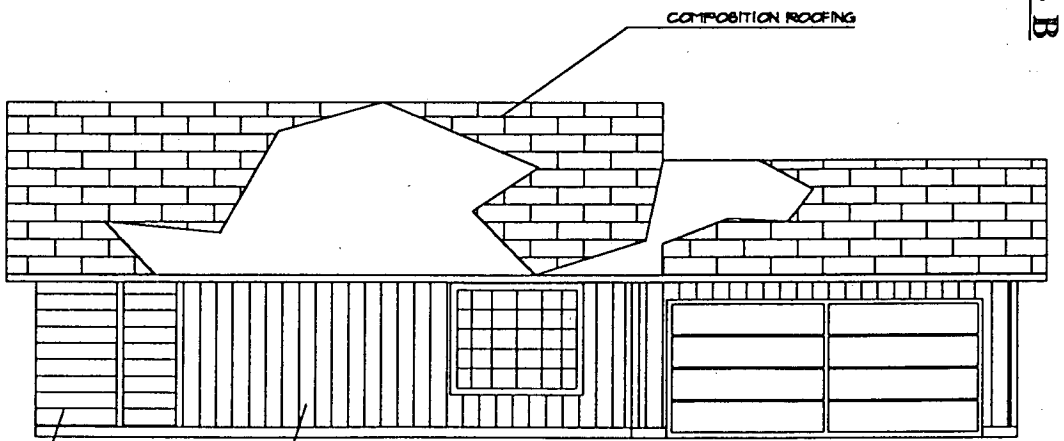
T-III PLYWOOD SIDING
WEST ELEVATION
1/4" = 1'-0"



COMPOSITION ROOFING
T-III PLYWOOD SIDING
SOUTH ELEVATION
LAP SIDING
1/4" = 1'-0"



5" GUTTERS
2x6" FASCIA BOARD
LAP SIDING
EAST ELEVATION
1/4" = 1'-0"



COMPOSITION ROOFING
T-III PLYWOOD SIDING
LAP SIDING
NORTH ELEVATION
1/4" = 1'-0"

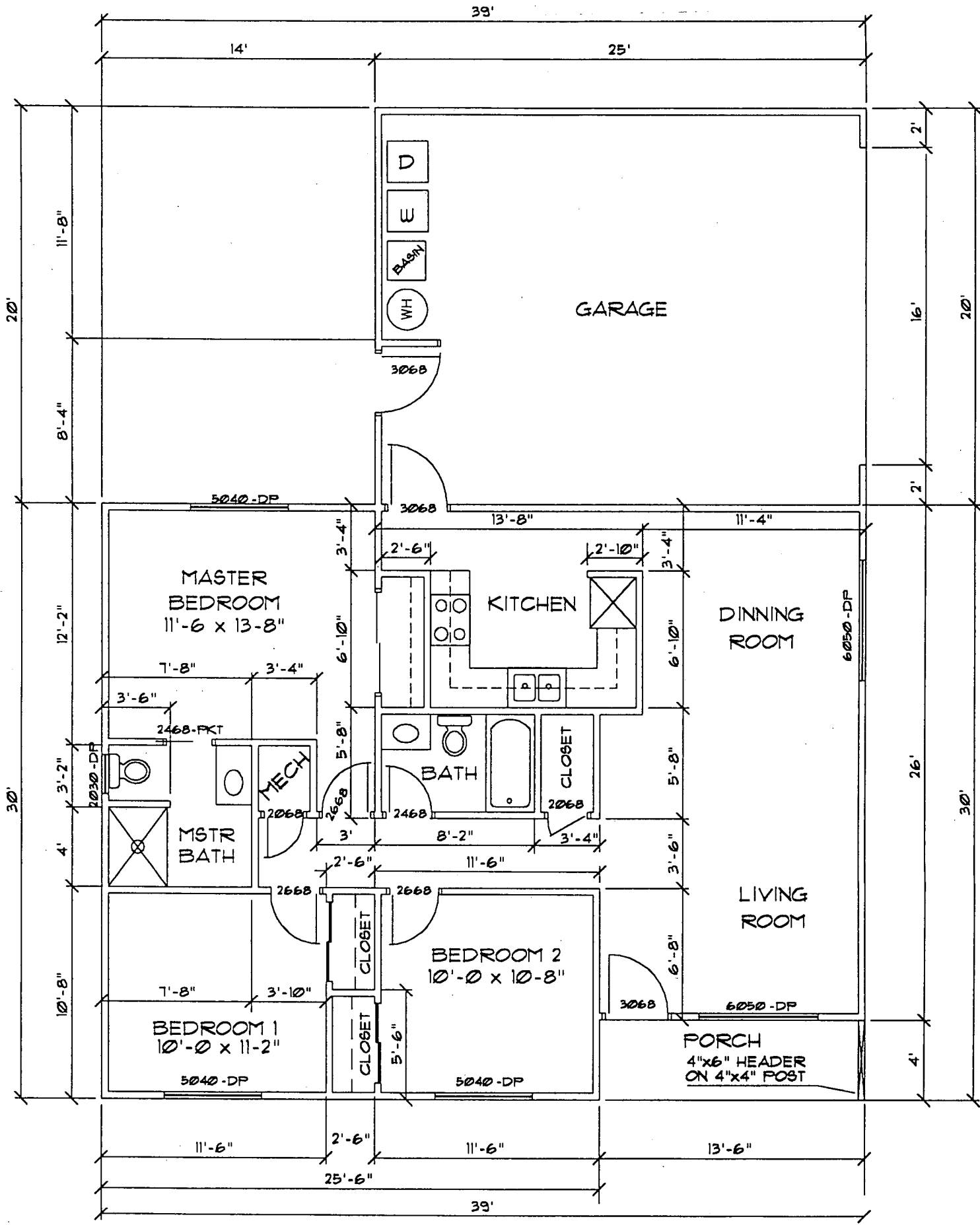
EXHIBIT - B

ITEM 2

(Elevations for front unit. Will not be used for 2nd unit)

front and middle unit

EXHIBIT - C



LAYOUT PLAN - Unit 1

1/4" = 1'-0"

JANUARY 31, 1955

294-101

ITEM 2

Revised (Rcvd 13 Dec 94)

294-101

JANUARY 31, 1995

ITEM 2

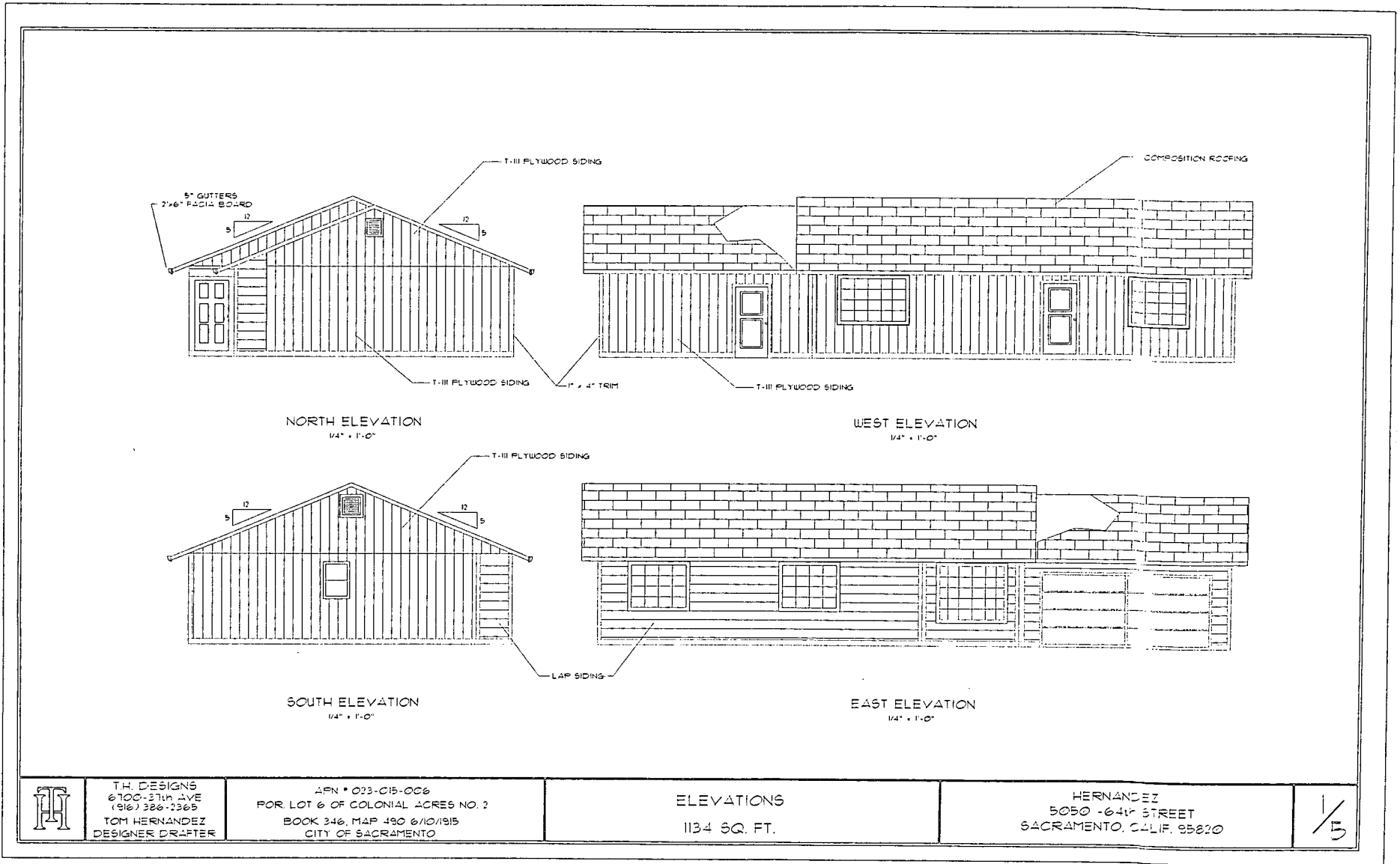


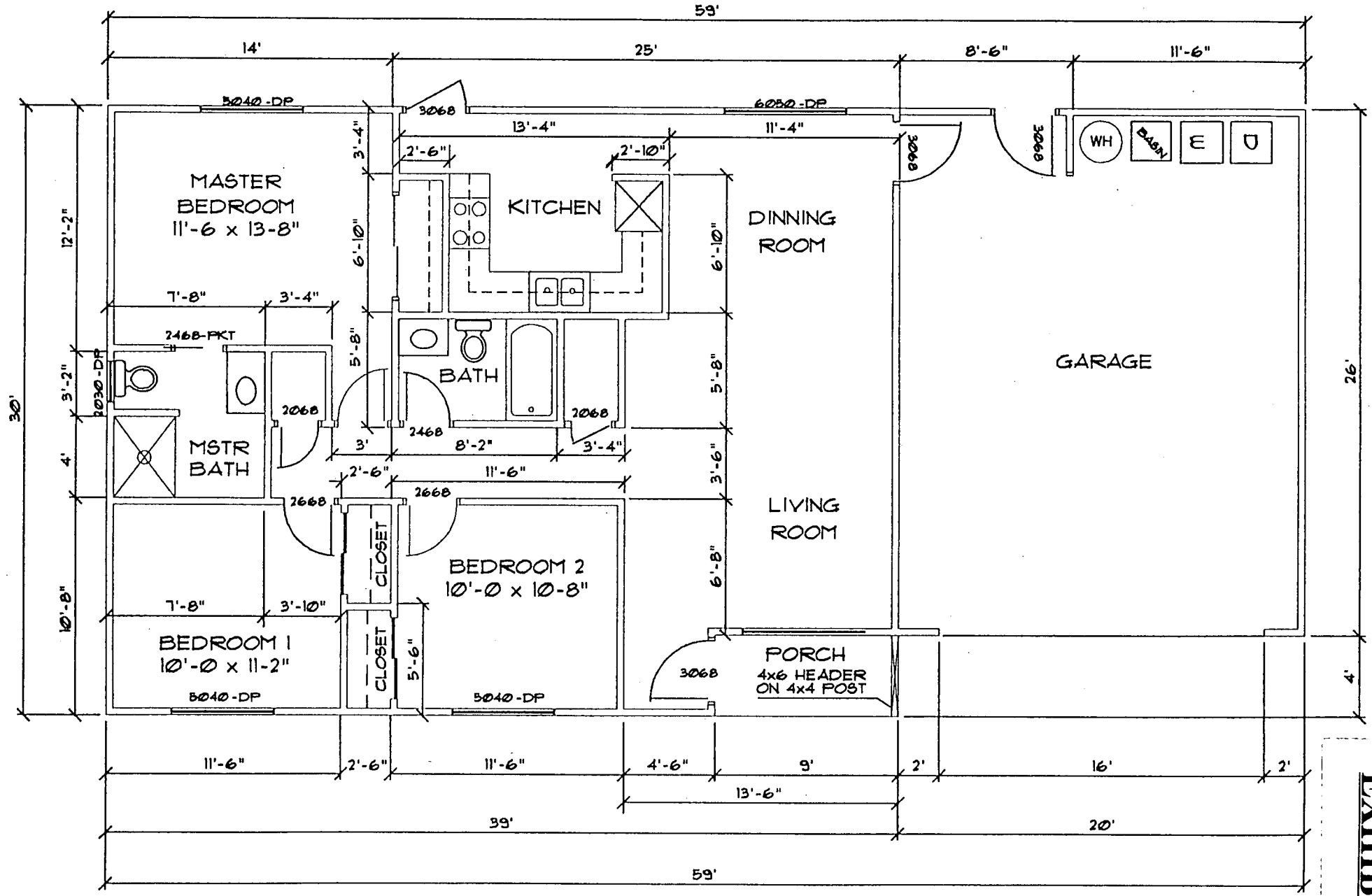
EXHIBIT - D

Approved for Unit 2 by ZA

294-101

JANUARY 31, 1985

ITBm2



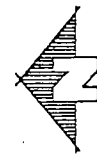
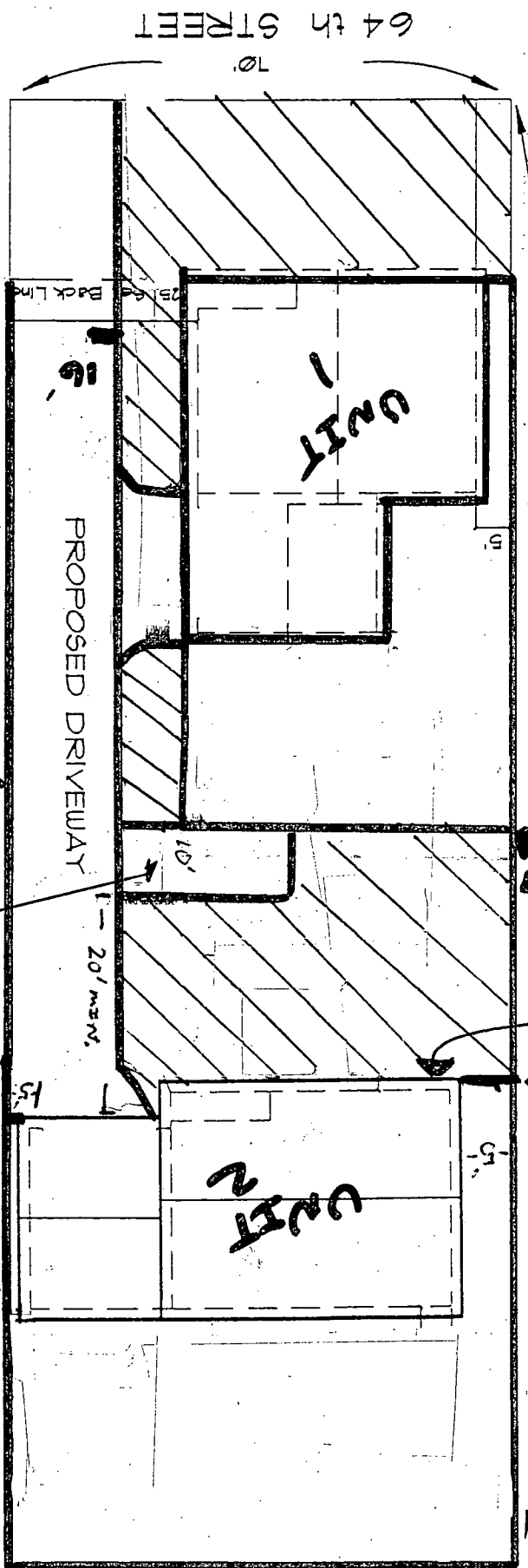
Approved for Unit 2 by ZA
LAYOUT PLAN

1/4" = 1'-0"

EXHIBIT - E

EXHIBIT F

STAFF EXHIBIT



Fence

Unit 2
Minimum 123 feet
from front property
line

Fence

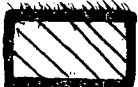
20' 10"

PROPOSED DRIVEWAY

Fence

Turf
MANEUVERING
Pd

(min. 5' sideyards for
Unit 2)



Landscaped
Area

PLOT PLAN

1/8" = 1'-0"

JANUARY 31, 1995

294-101

ITEM 2

EXHIBIT - G

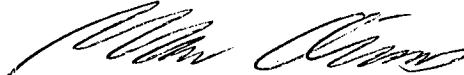
Tallac Village Neighborhood Association
P.O. Box 246861 * Sacramento, CA 95824

December 27, 1994

Dear Sandra,

Thank you for the information regarding the development at 5050 64th Street. As a board member of our neighborhood association, I've examined the project site and the surrounding neighborhood. It's my feeling that this sort of high density housing could have a negative impact on the neighborhood, with the third unit barely visible from the street. We would rather see two nice homes on that site.

Sincerely,



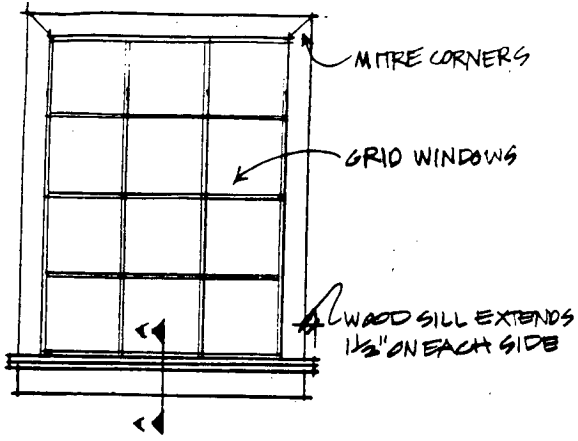
Mark O'Connor

294-101

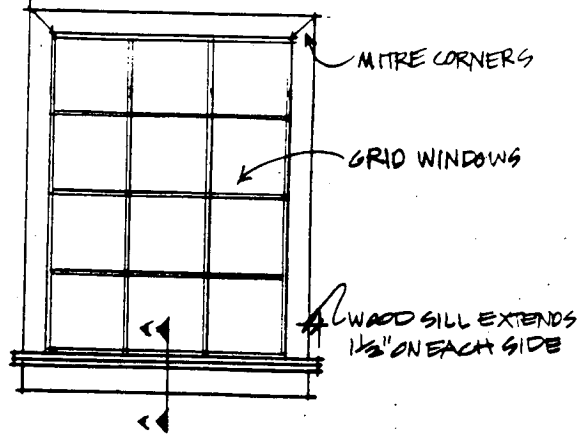
JANUARY 31, 1995

ITEM 2

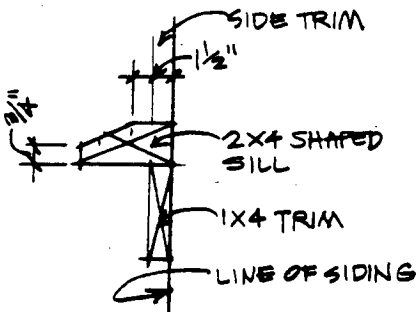
EXHIBIT H



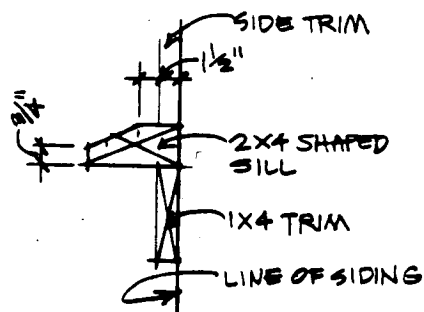
WINDOW ELEVATION



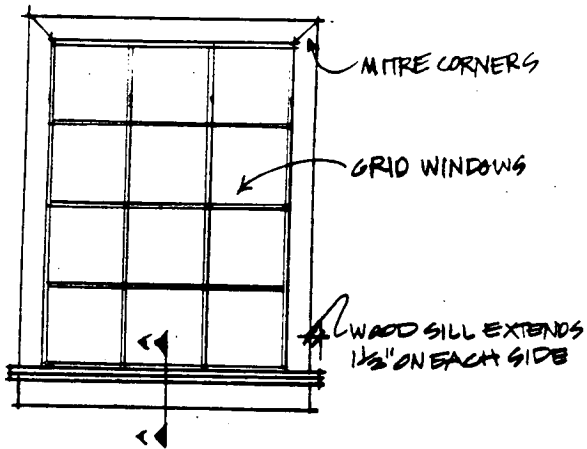
WINDOW ELEVATION



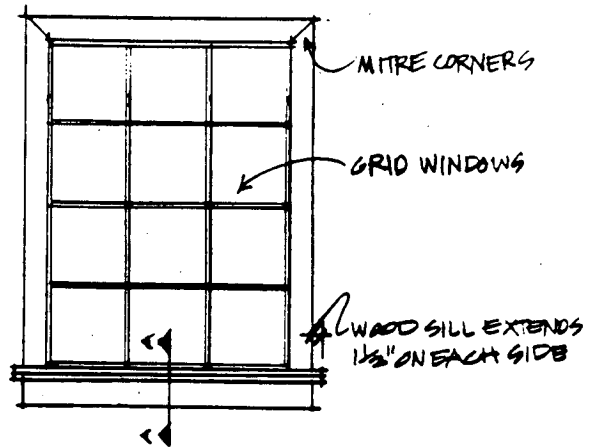
SILL SECTION A-A



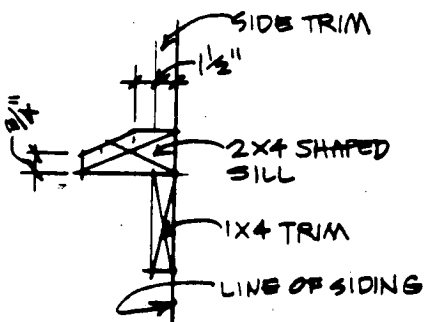
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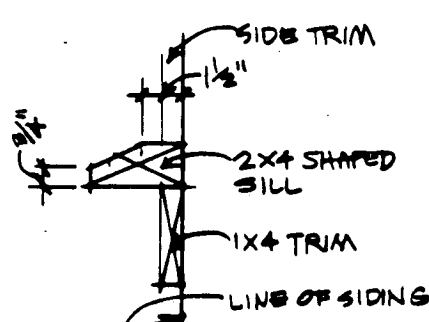
WINDOW ELEVATION



WINDOW ELEVATION



SILL SECTION A-A



SILL SECTION A-A