

CITY PLANNING COMMISSION
1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Morton and Pitalo, 1430 Alhambra Blvd., Sacramento, CA 95816
OWNER Byron Davis, 3408 Buccaneer Circle, Sacramento, CA 95826
PLANS BY Morton and Pitalo Inc.
FILING DATE 7-19-90 ENVIR. DET. Neg Dec REPORT BY DCS
ASSESSOR'S PCL. NO. 061-0150-041 and 051

APPLICATION: Lot Line Adjustment to merge two lots into one lot totaling 14.4± vacant acres in the Heavy Industrial (M-2(S)) zone.

LOCATION: East side of Florin-Perkins Road, approximately 100 feet north of 23rd Ave.

PROPOSAL: The applicant is requesting the necessary entitlements to remove the common property line between two parcels.

PROJECT INFORMATION:

General Plan Designation: Heavy Industrial or Warehouse
Existing Zoning of Site: M-2(S)
Existing Land Use of Site: Vacant
Surrounding Land Use and Zoning:

North: Vacant; M-2(S)
South: Industrial; M-2(S)
East: Vacant; M-2(S)
West: Industrial; M-2(S)

Property Dimensions: Parcel A: 630'X 825' Parcel B: 210'X 500'
Property Area: Parcel A: 12± acs. Parcel B: 2.4± acs. Total: 14.4± acs.
Topography: Flat
Street Improvements: Existing
Utilities: Existing

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of two parcels totaling 14.4± vacant acres in the Heavy Industrial (M-2(S)) zone. The General Plan designates the site for Heavy Industrial or Warehousing. The site is not within a Community Plan area. Surrounding land use and zoning include vacant lots to the north and east, and developed industrial property to the south and west. The surrounding property is zoned Heavy Industrial M-2(S). In

addition, there is a gravel extraction pit located to the east of the site.

B. Applicant's Proposal

The applicant is proposing to remove the common property line between the two parcels (see Exhibit A). The purpose of the lot line adjustment is to combine the area for development.

C. Staff Analysis

The proposed lot line merger creates a larger parcel that will offer greater development potential. Combining the parcels eliminates the need for separate independent access to the smaller parcel to the west. The merger offers greater opportunities for the development of the site.

D. Agency Comments:

The proposed project was reviewed by Traffic Engineering, Engineering Development Services, Building Inspections and the City Fire Department. The following comments were received:

The applicant shall complete the following at the Public Works Department, Development Services Division, prior to a lot line merger being recorded:

1. File a Certificate of Compliance, submit all required documents according to the submittal requirements checklist, and pay necessary fees.
2. File a waiver of Parcel Map.
3. Pay off or segregate any existing assessments.

ENVIRONMENTAL DETERMINATION: The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared with the following mitigation measures.

A. Require construction contractors to implement a dust abatement program that will reduce the effect of construction on local PM 10 levels in the vicinity of the construction zones. Elements of this program should include the following:

- Sprinkle all unpaved construction areas with water at least twice per day during grading and excavation to reduce dust emissions by about 50%.
- Cover stockpiles of sand, soil, and similar materials with a tarp.
- Cover trucks hauling dirt and debris to reduce spillage onto paved surfaces.

- Sweep up dirt or debris spilled onto paved surfaces immediately to reduce re-suspension of PM 10 through vehicle movements over these surfaces.
 - Require construction contractors to designate a person or persons to oversee the dust abatement program and to order increased watering, as necessary.
 - Increase the frequency of city street cleaning along streets in the vicinity of construction site.
- B. All joints in exterior wall shall be grouted or caulked airtight.
- C. Window or through-the-wall ventilation and air conditioning units shall be permitted.
- D. All penetrations of exterior walls shall include 1/2 inch airspace. This space shall be filled with fiberglass insulation. The space shall be sealed airtight on both sides of the wall with a resilient non-hardening caulking or mastic.
- E. Windows must have a minimum STC rating of 29 or better. Windows facing the noise source should comprise less than 25 percent of the wall area. Windows shall have an air filtration rate of less than or equal to 0.20 CFM/lin. ft. when tested with a 25 mile an hour wind per ASTM standards.
- F. Sliding glass doors must carry an STC rating of 30. They must include complete perimeter door seals.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration; and,
- B. Approve the Lot Line Merger by adopting the attached resolution.

RESOLUTION NO.

ADOPTED BY THE SACRAMENTO CITY PLANNING COMMISSION
ON DATE OF

APPROVING A LOT LINE ADJUSTMENT TO MERGE TWO LOTS INTO ONE LOT TOTALING 14.4 ACRES INCLUDING ALL OF THE SOUTH 500 FEET OF THE EAST 210 FEET OF THE WEST 890 FEET OF THE NW 1/4 OF SECTION 24, T.8 N, R.5 E, MDB&M; AND, ALL OF THE SOUTH 825 FEET OF THE WEST 680 FEET OF THE SW 1/4 OF THE NW 1/4 OF SECTION 24, T.8 N, R.5 E, MDB&M.

(061-0150-041 and 051) (P90-328)

WHEREAS, the Planning Director has submitted to the Planning Commission a report and recommendation concerning the lot line adjustment for property located adjacent to and on the east side of Florin-Perkins Road, approximately 100 feet north of 23rd Avenue; and

WHEREAS, lot line merger has been issued a Negative Declaration by the Environmental Services Coordinator; and

WHEREAS, the lot line adjustment is consistent with the General Plan and the proposed lot line adjustment conforms with the plan designations;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Sacramento:

that the lot line merger for property located adjacent to and on the east side of Florin-Perkins Road within the City of Sacramento, be approved as shown and described in Exhibits A and B attached hereto, subject to the following conditions:

Conditions:

The applicant shall complete the following at the Public Works Department, Development Services Division, prior to a lot line merger being recorded.

1. File a Certificate of Compliance, submit all required documents according to the submittal requirements checklist, and pay necessary fees.
2. File a waiver of Parcel Map.

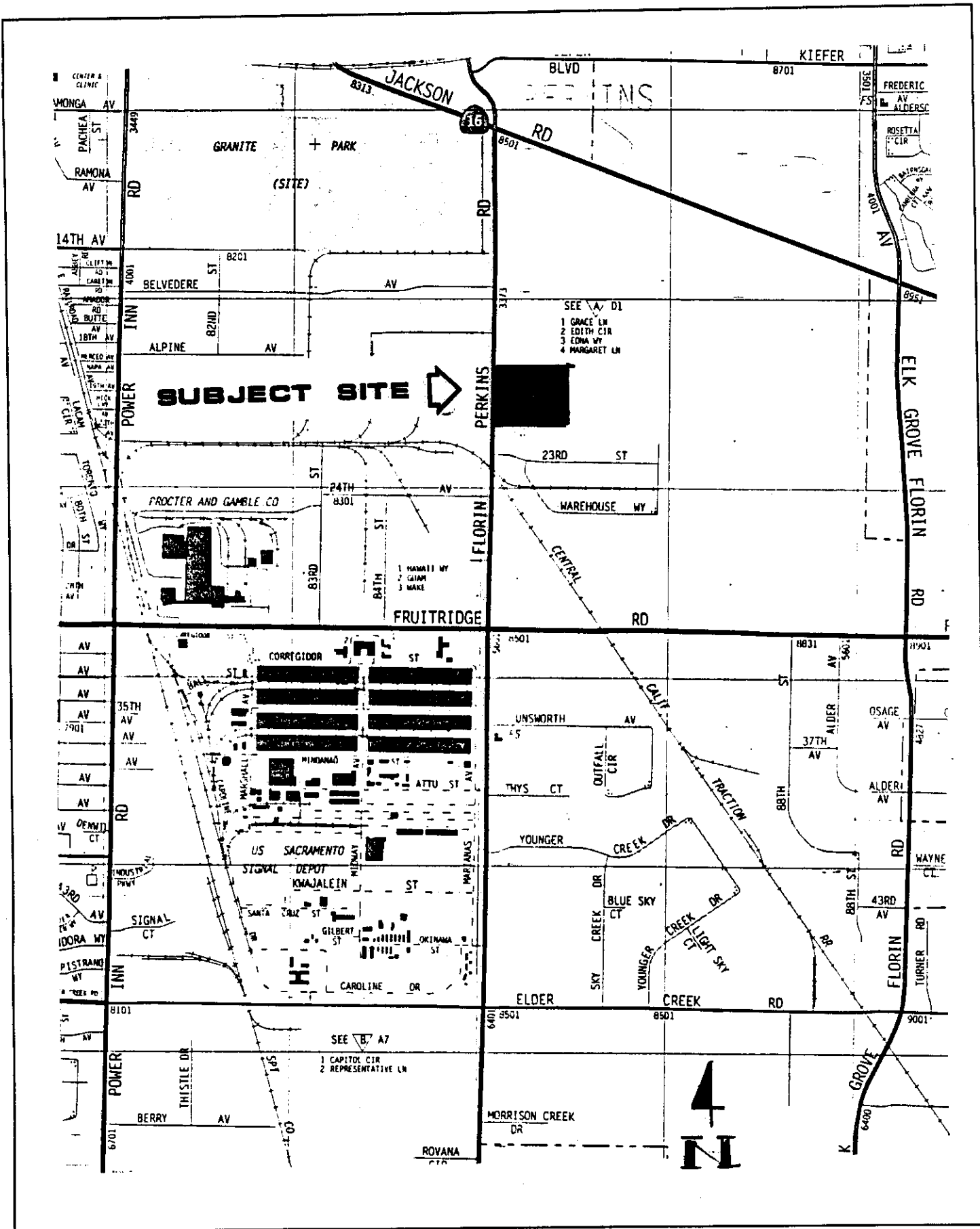
3. Pay off or segregate any existing assessments.
4. The mitigation measures specified in the negative declaration for P90-328 shall be met.

CHAIRPERSON

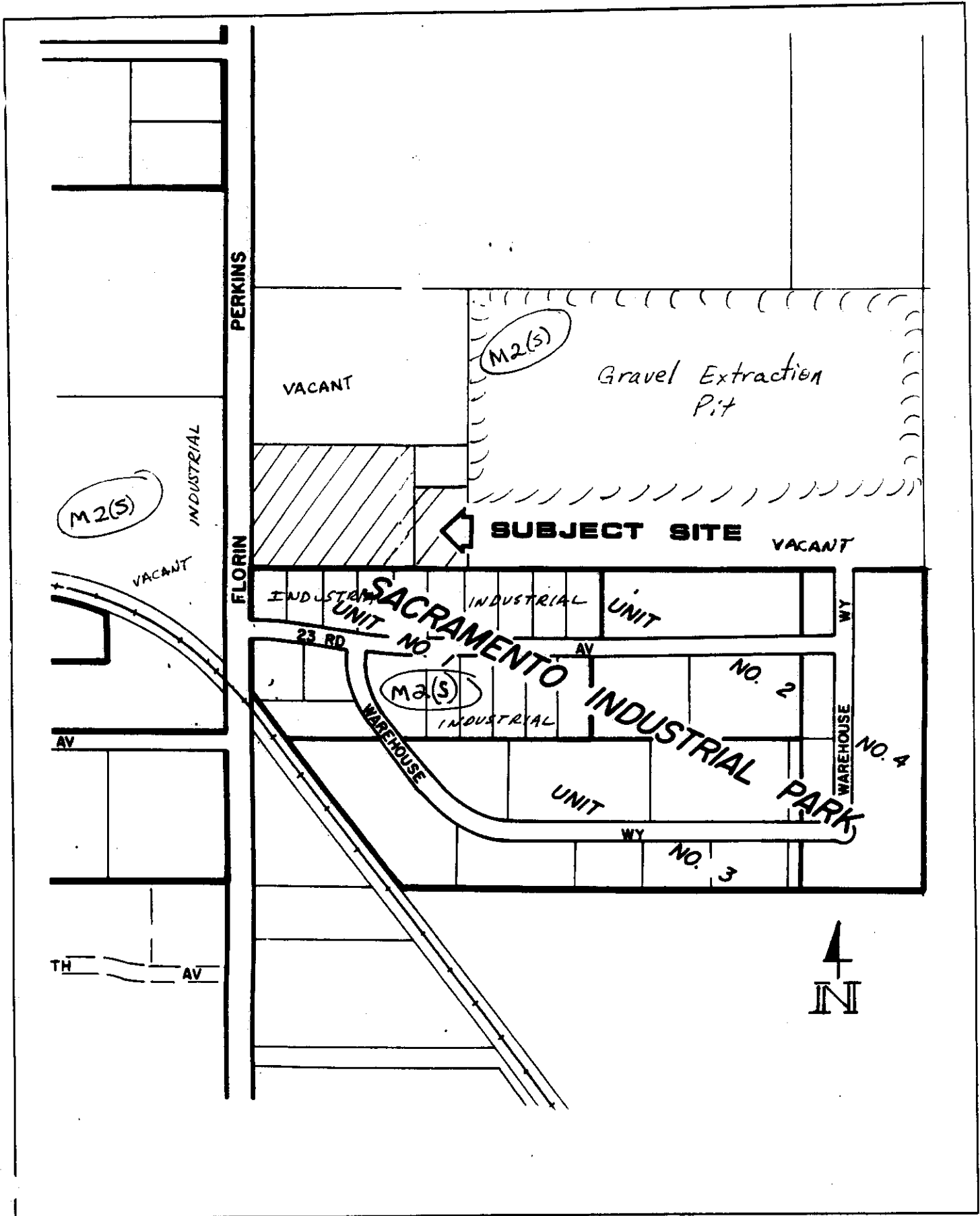
ATTEST:

SECRETARY TO CITY PLANNING COMMISSION

P90-328



VICINITY MAP



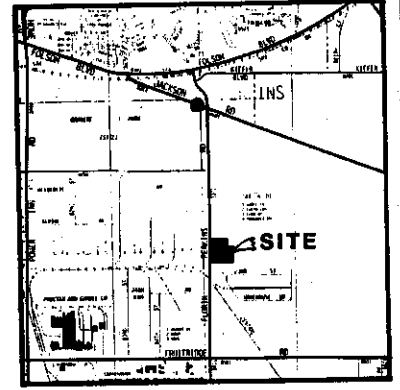
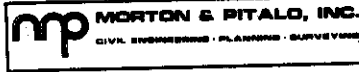
LAND USE & ZONING MAP

EXHIBIT A

TENTATIVE PARCEL MAP FLORIN PERKINS @ 23RD AVE. CITY OF SACRAMENTO JULY 1990

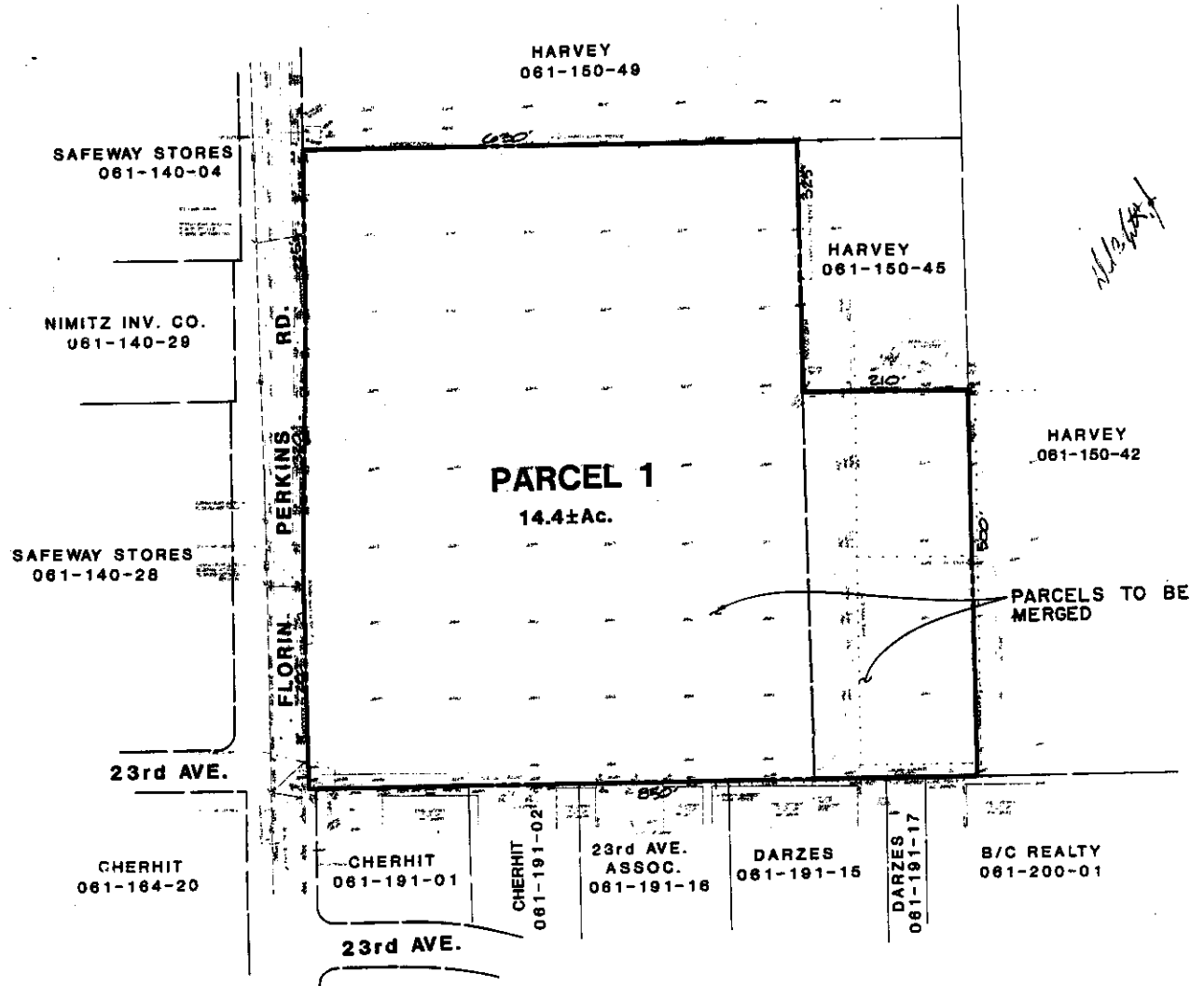


SCALE: 1" = 100'



VICINITY MAP
NO SCALE

OWNER	SEWER	
BYRON DAVIS 3408 ECKHAMBER CIRCLE SACRAMENTO, CA 95825	SANITARY SEWER	CITY OF SACRAMENTO
	SEWER DRAINAGE	
DEVELOPER	WATER	
ELIZ DAVES ENTERPRISES 8615 ELDER CREEK, #300 SACRAMENTO, CA 95828	POLICE	
APPLICANT	GAS	
MORTON & PITALO, INC. 1430 ALHAMBRA BOULEVARD SACRAMENTO, CA 95816 (916) 454-9600	PACIFIC GAS & ELECTRIC	
APN	ELECTRICITY	
061-150-41 & 51	S.H.G.D.	
AREA	TELEPHONE	
14.4 ± AC.	PAC BELL	
ZONING	SCHOOLS	CITY OF SACRAMENTO
M2-S	PARK & RECREATION	



Revised October 1990

EXHIBIT B
PROPERTY DESCRIPTION
(061-0150-041 & 051) (P90-328)

ALL OF THE SOUTH 500 FEET OF THE EAST 210 FEET OF THE WEST 890 FEET OF THE NW 1/4 OF SECTION 24, T.8N, R.5E, MDB&M AND ALL OF THE SOUTH 825 FEET OF THE SW 1/4 OF THE NW 1/4 OF SECTION 24, T.8N, R.5E, MDB&M CONTAINING 14.38± ACRES.