

# CITY PLANNING COMMISSION

927-10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Schwartz-Waag Associates, 150 Van Ness Avenue, San Francisco, CA 94101		
OWNER	RJB Company, 2856 Arden Way, Sacramento, CA 95825		
PLANS BY	Roller & Massen, Inc., 100 Van Ness Avenue, San Francisco, CA 94102		
FILING DATE	12-9-82	50 DAY CPC ACTION DATE	REPORT BY: TM:bw
NEGATIVE DEC.	11-29-82	EIR	ASSESSOR'S PCL. NO. 079-420-05

- APPLICATION:
1. Negative Declaration
  2. Amend PUD Schematic Plan for 1± vacant acres from commercial to offices in the 7-Lakes PUD
  3. Rezone 1± acres from C-2(PUD) to OB(PUD)
  4. Tentative Map to divide 5± acres in the C-2 zone into two parcels
  5. Special Permit for development of a 20,300± square foot office building

LOCATION: Northwest corner of Bicentennial Circle and Folsom Boulevard

PROPOSAL: The applicant is requesting the necessary entitlements to develop a two-story, 20,300± square foot office building for the California State Automobile Association on 1± vacant acres.

PROJECT INFORMATION:

1974 General Plan Designation: Commercial-Offices  
1967 College Greens Community Plan Designation: General Commercial  
Existing Zoning of Site: General Commercial  
Existing Land Use and Zoning:  
North: Vacant; OB-R  
South: Folsom Boulevard, PG&E substation; M-2(S)  
East: Office Building; C-2  
West: Vacant; C-2

Parking Required: 90 spaces  
Parking Provided: 92 spaces  
Property Area: 1.4± acres  
Square Footage of Building: 20,330  
Height of Structure(s): 2-story/34 feet  
Topography: Flat  
Street Improvements/Utilities: Existing  
Exterior Building Colors: Earth tones  
Exterior Building Materials: Masonry and wood; metal roof

BACKGROUND INFORMATION: The subject site is located within the 7-Lakes Planned Unit Development which was established on October 28, 1975. Currently, the permitted land uses within the PUD are as follows:

Land Use	Acreage	No. of Units or Square Footage
Residential	33.0	648 units
Office	6.9	81,392 sq. ft.
Commercial	9.3	33,718 sq. ft.

Of these permitted land uses approximately 39,000± square feet of offices have been developed as well as all of the 648 dwelling units.

The subject requests, if approved, would decrease the commercial acreage available by 1.4 acres and utilize 20,330 square feet of the available office square footage. This would leave a total of 14.8± acres remaining to be developed with 33,718 square feet of commercial uses and 21,892 square feet of offices.

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On February 9, 1983, by a vote of six ayes, two absent, one abstention, the Subdivision Review Committee voted to recommend approval of the Tentative Map, subject to the following conditions. These conditions shall be complied with prior to the filing of the final map:

- a. The applicant shall retain the existing property line separating the C-2 and OB zoned property (the map shall be revised to indicate these parcels);
- b. Reciprocal access easements shall be noted in the final map.

Condition (a) was requested by the Planning Department to insure that the property lines coincided with existing zone lines.

STAFF EVALUATION: In general, staff is supportive of the applicant's request. However, staff does have the following comments in respect to the specific entitlements:

1. The requested PUD amendment and rezoning would provide for a redesignation and the proper zone for an office use. Staff does not oppose either of these requests because the total square footage of office space permitted within the PUD is not exceeded.

The PUD amendment is also required to alter the building pad location as shown on the existing schematic plan to what is indicated on the attached site plan. The applicant has submitted a possible development plan for the area north and adjacent to the subject site (see Exhibit A).

Although staff finds this development plan consistent with many of the development standards of the guidelines, it is necessary to indicate that no approval is given in terms of square footage, height or use for this adjacent area. Therefore, the building noted as "North Building" on Exhibit A should be viewed as a generalized building configuration.

2. The submitted plans indicate that the structure will be constructed with masonry and wood elevations and metal roofing material. Staff finds the proposed design an improvement over the existing office development to the east and consistent with the PUD Guidelines.
3. A monument sign is shown at the southeast corner of the site. Staff notes that this proposed sign must be located outside of the required setback lines.
4. To insure landscaping consistency with the PUD Guidelines, staff requests that a detailed landscape and irrigation plan be reviewed and approved prior to the issuance of building permits.

STAFF RECOMMENDATION: Staff recommends the following actions:

1. Ratification of the Negative Declaration;

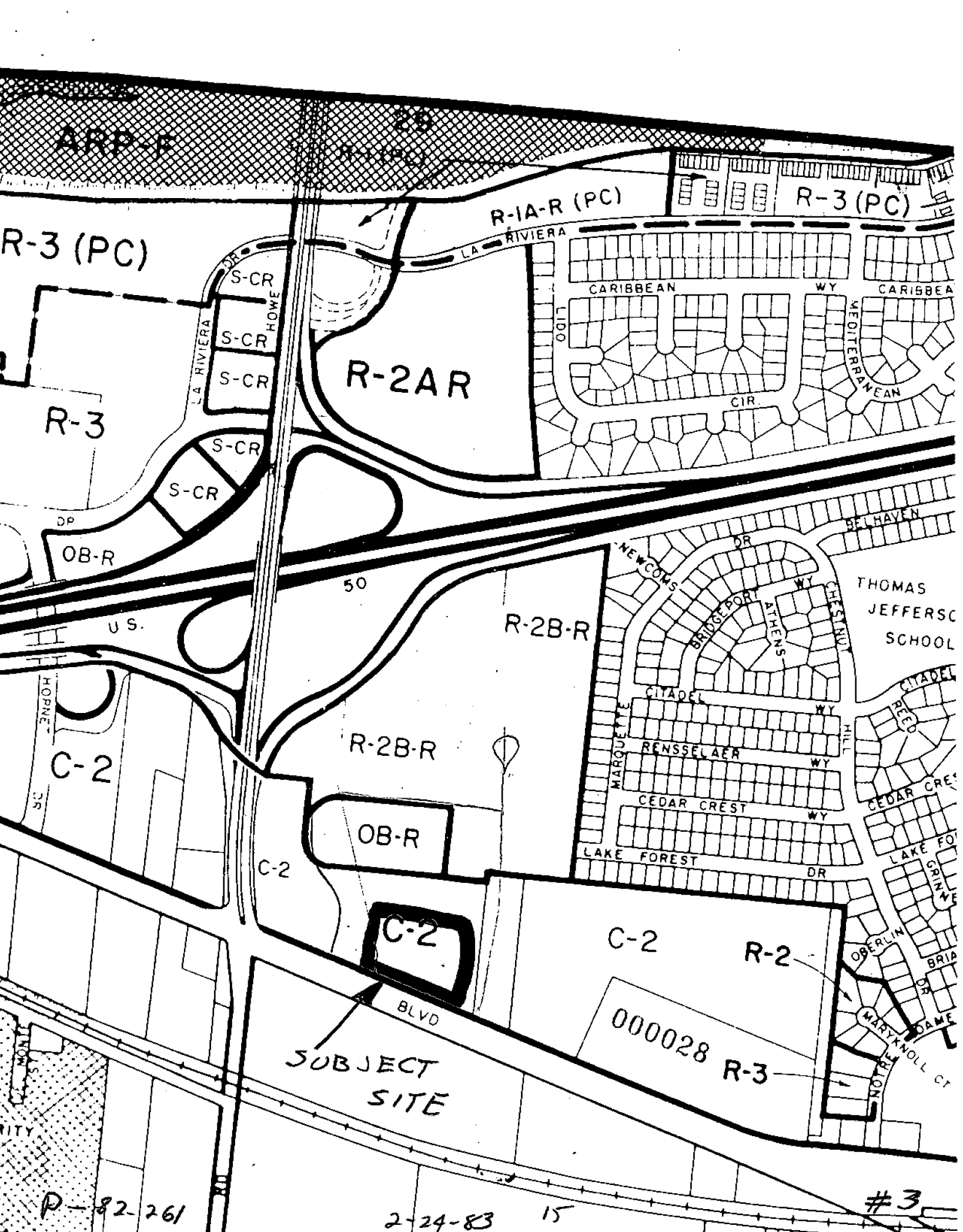
2. Amendment of the 7-Lakes PUD Schematic Plan from commercial to offices per submitted site plan;
3. Approval of the rezoning request from General Commercial (PUD) to Office Building (PUD);
4. Approval of the Special Permit, subject to conditions and based upon Findings of Fact which follow; and
5. Approval of the Tentative Map, subject to the following conditions:
  - a. The applicant shall retain the existing property line separating the C-2 and OB zoned property (the map shall be revised to indicate these parcels);
  - b. Reciprocal access easements shall be noted on the final map.

Special Permit - Conditions

- a. A detailed landscape and irrigation plan shall be submitted for staff review and approval prior to the issuance of building permits. This plan shall include the following:
  - 1) a variety of 5-gallon, 15 gallon and 24-inch box specimen trees throughout the project, as well as a variety of ground cover;
  - 2) compliance with the 50% lot shading ordinance;
  - 3) utilization of deciduous tree plantings to the south and west of the building.
- b. A detailed sign program for the review and approval of staff prior to the issuance of occupancy permits.

Special Permit - Findings of Fact

- a. The special permit, as conditioned, is based upon sound principles of land use in that the proposed office use is located on a major street;
- b. The special permit, as conditioned, will not be detrimental to the public health, safety or welfare in that adequate parking and setbacks are provided;
- c. The special permit is consistent with the 1974 General Plan and the 1967 College Greens Community Plan in that the site is designated General Commercial which allows office uses.



R-3 (PC)

R-1A-R (PC)

R-3 (PC)

R-3

R-2AR

OB-R

R-2B-R

C-2

R-2B-R

OB-R

C-2

C-2

R-2

000028 R-3

SUBJECT SITE

P-82-261

2-24-83

15

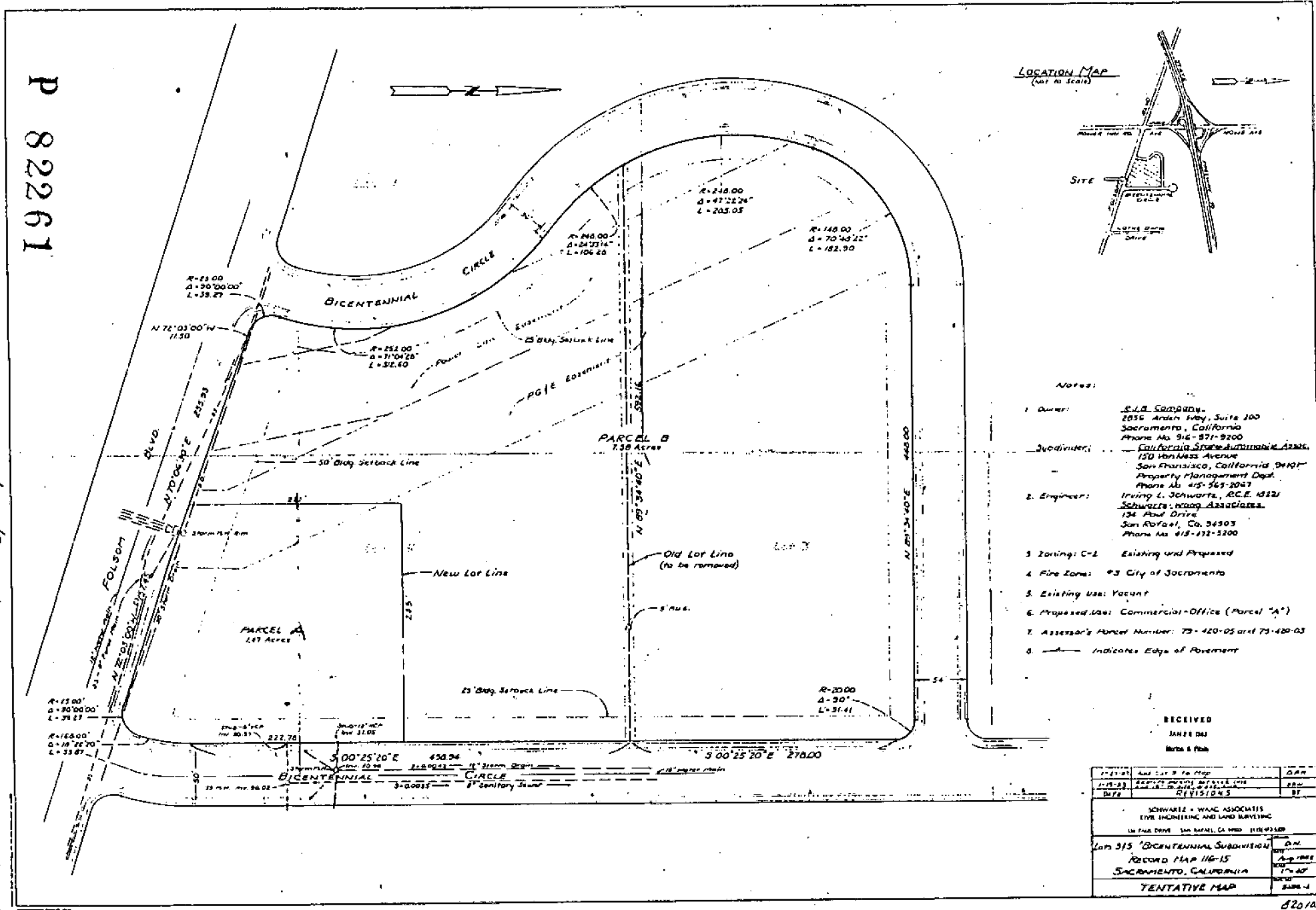
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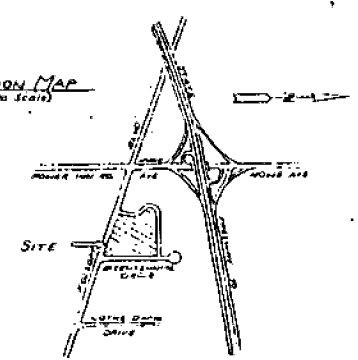
P 82261

2/24/83

ITEM NO. 3



LOCATION MAP (Not to Scale)



Notes:

1. Owner: **E.L.B. COMPANY**, 2056 Arden Way, Suite 100, Sacramento, California, Phone No. 916-571-9200
2. Engineer: **California State Automobile Assn.**, 150 Van Ness Avenue, San Francisco, California, Dept. Property Management Dept., Phone No. 415-363-2087  
**Irving L. Schwartz, R.C.E. 1832**, Schwartz, Wong Associates, 134 Reed Drive, San Rafael, Ca. 94903, Phone No. 415-472-5200
3. Zoning: C-2 Existing and Proposed
4. Fire Zones: #3 City of Sacramento
5. Existing Use: Vacant
6. Proposed Use: Commercial-Office (Parcel "A")
7. Assessor's Parcel Number: 73-420-05 and 73-420-03
8. ——— Indicates Edge of Pavement

RECEIVED  
JAN 21 1983  
Marta & Fish

1-21-83	ADD LOT B TO MAP	D.M.
1-23-83	REVISE SETBACK LINE	EDW
DATE	REVISIONS	BY
SCHWARTZ & WONG ASSOCIATES ENGINEERING AND LAND SURVEYING 134 REED DRIVE SAN RAFAEL, CA 94903 (415) 472-5200		
Lot 315 BICENTENNIAL SUBDIVISION RECORD MAP 116-15 SACRAMENTO, CALIFORNIA TENTATIVE MAP SHEET 1		

000029

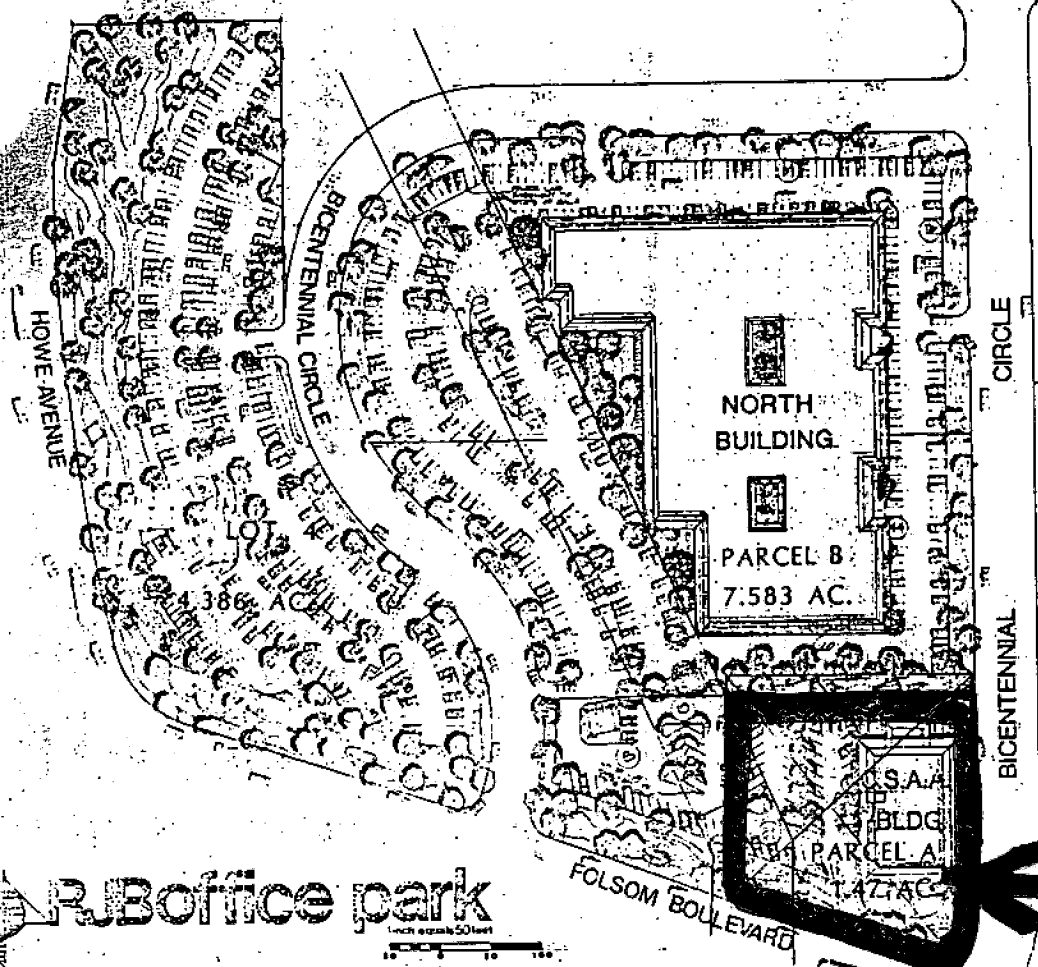
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# Exhibit "A"

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ITEM NO. 3



## RJB Office park

000030

north building	180,000 sq. ft.
c.s.a.a. building	20,338 sq. ft.
total bldg. area	200,338 sq. ft.
parking	875
	229 sq. ft. per space
<b>PARCEL A AREA</b>	
c.s.a.a. building site area	64,033 sq. ft.
	1.47 ac.

PARCEL B AND LOT 4 AREA	
hard surface area	48% (100,270 sq. ft.)
landscape area	35% (100,000 sq. ft.)
bldg. coverage area	17% (100,000 sq. ft.)
	100% (1,041,078 sq. ft.)
	515,000 sq. ft.

EXISTING  
SACRAMENTO  
COUNTY  
DISTRICT  
ATTORNEY'S  
OFFICE AND  
PARKING AREA.

**SUBJECT  
SITE**

**SITE PLAN**

DEAN F. LINGER  
AIA INC  
ARCHITECTURE AND  
ENVIRONMENTAL  
PLANNING  
2204th Street  
Sacramento California 95811  
916-441-0217

RIB OFFICE PARK  
BICENTENNIAL CIRCLE AND FOLSOM BLVD  
SACRAMENTO, CALIFORNIA

The drawing is not final and is not to be used for construction until signed by the Architect.

Drawn by: G.W. Egan  
Checked by:  
Job No.: 22-00  
Date: 1-24-80  
Drawing No.: 1  
Sheet No.: 1 of 1